

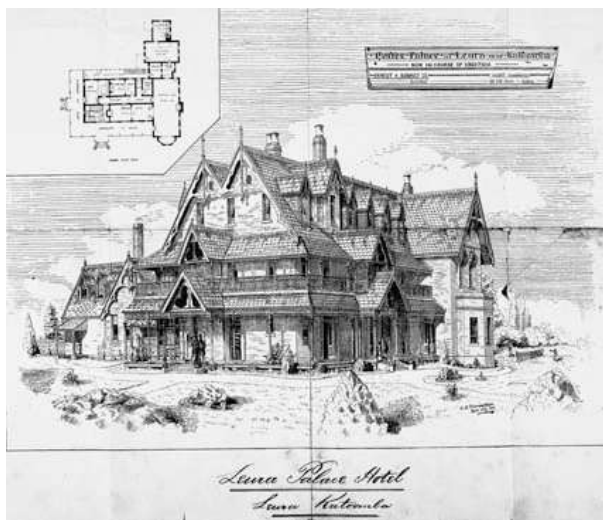
# PROPOSED AGED CARE DEVELOPMENT

AT

**THE RITZ**

**203-223 LEURA MALL, LEURA, NSW**

## REVISED HERITAGE IMPACT STATEMENT



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Frontispiece      The Leura Place Hotel, undated illustration

Source: National Archives of Australia C4076

## 1.0 INTRODUCTION

### 1.1 THE BRIEF

The following report has been prepared to accompany a development application for an aged care development at The Ritz Aged Care Facility at 203-223 Leura Mall, Leura, NSW. The report has been prepared on behalf of Skermanic Pty Ltd, the owners of the property.

### 1.2 REVISED HERITAGE IMPACT STATEMENT

The development has been the subject of extensive negotiations with Blue Mountains City Council and has gone through various iterations to address concerns raised, address some technical issues regarding fire ratings of the south and west wings of the early Hotel and planning matter relating to setbacks and the like.

The current scheme reflects the results of those discussions and the proposals have been amended to:

- Retain the external form, detail and materials south and west wings
- Retain the Education Office (Building D)
- Alter the entry to the car park from Wascoe Street
- Change the materiality and form of the new additions

The additions are now in render and weatherboard with mansard type upper floors. The retention of the cottage has led to a reduction in the extent of the additions.

There have also been changes to the layouts of the additions to address planning issues such as setbacks and overshadowing.

This report is a revision to the original Heritage Impact Statement and has been prepared to address the proposed amendments.

Where sections are no longer relevant (e.g. the discussion regarding the rebuilding of the south and west wings) these have been deleted. New text is highlighted in blue for clarity and the revised sections are as follows:

SECTION	ELEMENT	COMMENT
8.1.1	Architectural Drawings	Drawing references revised
8.1.3	Demolitions	Revised to reflect retention of the Education Office
8.1.4	Rebuilding	South and East wings retained
8.1.6	New Development	Description amended
8.1.7	Site Works	Substation noted
		Fence details amended
8.1.7	Landscape Drawings	Drawing references revised
9.2.2.1	European Archaeology	Section revised
		Figure 9.1 replaced to current layout
9.2.2.2	Excavation to the South and West Wings	Section added on MMA structural report
9.2.3	Demolition Buildings	Revised to reflect retention of wings and Education Office
9.2.4	Rebuilding of South and East Wings	Revised to reflect retention of wings
9.4	South and West Wings	Revised to reflect retention of wings
9.4.3	Education Office	Section added to reflect retention of Education Office
9.5	New Buildings	Revised Figure 9.10 to reflect current layout
		Revised to reflect current layouts

SECTION	ELEMENT	COMMENT
9.5.2	Setbacks	Revised to reflect current layouts and retention of the Education Office
9.5.2	Setbacks	Figure 9.12 amended to reflect current layouts and detail
9.5.3	Views	
9.5.3.1	Leura Mall	Revised to reflect current layouts and retention of the Education Office
9.5.6	Massing	Revised to reflect current layouts and detail
9.5.7	Height	Revised to reflect current layouts and detail
9.5.9	Style and Materials	Revised to reflect current layouts and detail
9.6.9	Landscaping	
9.6.9.2	Education Office	Revised to reflect retention of Education Office
10.0	Assessment against the Conservation Guidelines	
10.3	Archaeology	Revised to reflect retention of wings and Education Office
10.5	Treatment of Fabric	
10.5.5	Fabric to be Conserved	Revised to reflect retention of the wings and Education Office
10.5.7	Fabric that may be Removed	Revised to reflect retention of the Education Office
10.5.8	Fabric that may be Demolished	Revised to reflect retention of the Education Office
10.6.5	Interior Spaces and Fabric – Education Centre	Revised to reflect retention of the Education Office
10.6.6	Adaptation of Exteriors – Education Centre	Revised to reflect retention of the Education Office
10.7	Demolitions	Revised to reflect retention of the Education Office
11.0	Assessment against the Relevant Planning Controls	
11.1.2	Impact on Heritage Items in the Vicinity	
11.1.2.1	St David's Church	Revised to reflect retention of wings and Education Office
11.1.2.2	Café Bon Ton	Revised to reflect retention of wings and Education Office
11.1.2.3	Culgoa	Revised to reflect retention of wings and Education Office
11.1.3.1	26 Wascoe Street and Kanowna Group	Revised to reflect the introduction of mansard roof
11.1.4	Impact on the Conservation Areas in the Vicinity	
11.1.4.2	Leura South Heritage Conservation Area LA106	Revised to reflect retention of wings and Education Office and change of roof form
11.3	Blue Mountains Development Control Plans	
11.3.1	Blue Mountains Development Control Plan 2015 (BMDCP) (b)	Revised to reflect retention of wings

### 1.3 THE STUDY AREA

The study area is lot 20 in DP 1076123 in the Municipality of Katoomba, Parish of Megalong and County of Cook. The site is bounded by Leura Mall, Megalong Street, Wascoe Street and the residential properties to the south.

(Figures 1.1 & 1.2)

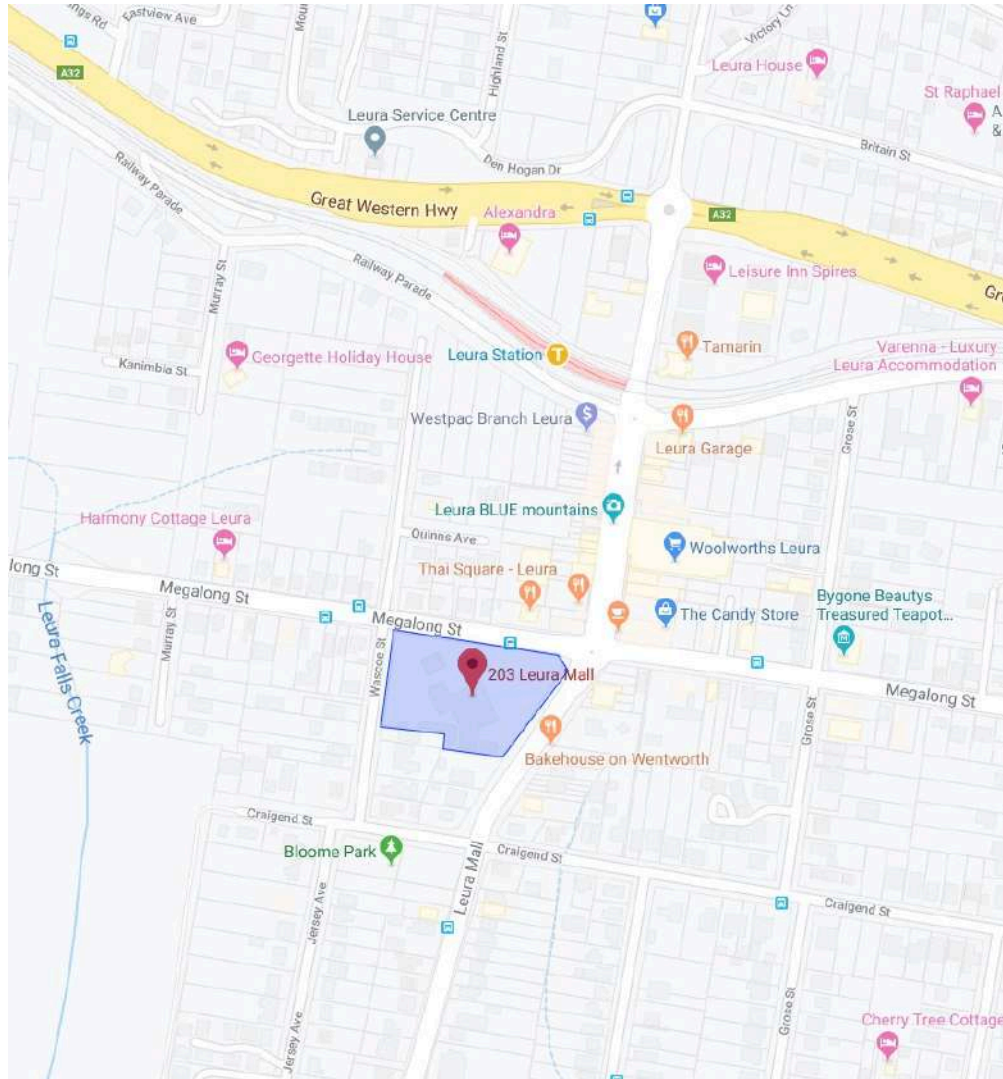


Figure 1.1 Location Plan with site highlighted

Source: Google Maps





Figure 1.2 The Study Area shaded

Source: Six Maps

#### 1.4 LIMITATIONS AND TERMS

The report only addresses the European significance of the place. The terms *fabric*, *conservation*, *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation*, *compatible use* and *cultural significance* used in this report are as defined in the Australia ICOMOS Burra Charter.

#### 1.5 CONSERVATION MANAGEMENT PLAN

A Conservation Management Plan has been prepared for the site by this office:

John Oultram Heritage & Design, *The Ritz, 203-223 Leura Mall, Leura, NSW, Conservation Management Plan*, dated January 2020 (updated August 2021) (CMP).

The CMP contained a detailed history of the place, a physical description of the site and its built and landscape elements, an assessment of significance, rankings of significance and conservation guidelines for the place. The applicant has received comments on the CMP from the Blue Mountains City Council and the CMP has been revised to partly address these. Assessment of the impact of the proposed work against the conservation guidelines CMP has been used as the primary assessment tool in this report.

#### 1.6 CULTURAL LANDSCAPE STUDY

A landscape study has been prepared for the site by this office:

John Oultram Heritage & Design, *The Ritz, 203-223 Leura Mall, Leura, NSW, Cultural Landscape Study*, dated August 2021 (CLS).

## 1.7 OTHER REPORTS

### 1.7.1 Tree Assessment

An assessment of the tree plantings on the site has been prepared:

Stuart Pittendrigh, *Tree Assessment, The Ritz Nursing Home, Lot 20 of DP 1076123, 203-223 Leura Mall, Leura*, dated January 2020 (SP)

An Arboricultural Assessment has also been prepared:

Bradshaw Consulting Arborists, *Arboricultural Impact Assessment for Skermanic Pty Ltd, The Ritz Nursing Home, 203-223 Leura Mall, Leura*, dated August 2021 (BCA)

### 1.7.2 Structural Report

A structural assessment of some of the structures at the site has been prepared:

Mott Macdonald, *203-223 Leura Mall, The Ritz Hotel, Structural Inspection*, dated August 2020 (MM)

A second structural report has been prepared:

ABVD Design, *Structural Report, Structural Site Inspection of Existing Structures at: 203 - 223 Leura Mall, Leura*, dated June 2020 (ABVD)

The structural feasibility of the basement under the retained south and west wings has also been prepared:

Mott Macdonald, *The Ritz, Leura, Basement Construction/Façade Retention Study*, dated May 2022 (MMA)

### 1.7.3 Fire and Life Safety Report

AED Group, *Building Code of Australia Fire and Life Safety Report, Existing Ritz Aged Care Building, 203-223 Leura Mall, Leura*, dated September 2020 (AED)

GHD, *Fire Engineering Review, Project 203-223 Leura Mall, Leura*, dated August 2021 (GHD)

These reports were prepared in relation to the potential re-buildings of the south and west wings but these will now be retained and adaptively reused.

### 1.7.4 Urban Design Report

City Plan, *The Ritz Estate, 203-223 Leura Mall, Urban Design Study*, dated August 2020 (CPU)

## 1.8 METHODOLOGY

This report was prepared in accordance with the *NSW Heritage Manual* "Statements of Heritage Impact", "Assessing Heritage Significance Guidelines" and the Blue Mountains City Council guidelines for the preparation of heritage impact statements. The philosophy adopted is that guided by the Australia ICOMOS Burra Charter 2013.

### 1.9 AUTHORS AND ACKNOWLEDGMENTS

This report, including all diagrams and photographs, was prepared by John Oultram and of John Oultram Heritage & Design, unless otherwise noted. Historical research was prepared by Nicholas Jackson.

We would like to thank Colleen Morris for her assistance in preparing the landscape assessment of the site and an assessment of the proposed landscape proposals.

## 2.0 HISTORICAL DEVELOPMENT

The CMP contained a detailed history of the place that is summarised below.

### 2.1 CHRONOLOGY

Date	Event
1883	Township of Leura was formed by a private subdivision made by Myles McRae, Benjamin Herbert Chapman, and William Robertson, and called the Leura Estate (Deposited Plan 1175).
1890 May	The Leura Hotel and Coffee Palace Limited formed with a projected capital of 12,000 pounds expressly to build a 'first class coffee palace' at Leura.
1891 April	Architect Ernest August Bonney called tenders for the building of the Coffee Palace.
1891 May	Tender of Henry James Weine accepted to build the Coffee Palace.
1891 October	Railway station at Leura opened.
1892 December	The Ritz opened, then named the Coffee Palace, and comprised of a total of 43 rooms. Managed by lessee Charles Henry Edward Lindeman.
July 1893	Freehold of the Coffee Palace conveyed to Spencer Samuel Milgate junior.
Ca. 1895	The Coffee Palace issued with a colonial wine license, and accordingly renamed The Palace. Managed by lessee Alfred James Craig and his mother Elizabeth.
1901	Freehold of The Palace conveyed to Alfred James Craig.
1907	Freehold of The Palace conveyed to Alfred James Craig, his mother Elizabeth Craig, and his aunt Mrs Margaret Sheils.
1913	Freehold of The Palace conveyed to Mrs Ellen Sarah Bloome, wife of James Henry Bloome. Name changed to The Ritz. Extensive alterations and additions undertaken inclusive of the new west wing and the 1892 building was extended to the south. The architect for these works has not been determined.
1915	Neighbouring building block (Lot 1 in Deposited Plan 916747) fronting The Mall acquired by the Bloomes, and developed with a bungalow used as their private residence.
1931	Freehold of The Ritz conveyed to Henry Elmer Messenger.
1932	Sun lounge with rounded bay window probably built.
1933	Freehold of The Ritz conveyed to Charles Stewart Steele.
1939	Freehold of The Ritz conveyed to Ritz Hotel (Leura) Pty Ltd.
1941 December	Outbreak of war in the Asia and the Pacific.
1942 July	The Ritz was requisitioned and converted into a military convalescent home managed by the Red Cross.
1946	Military requisitioned ended. The Ritz leased by Arthur McNiven.

Date	Event
1948 September	Sydney brewers Tooth & Co. acquired a controlling interest in Ritz Hotel (Leura) Pty Ltd.
1969	The Ritz put up for sale with vacant possession.
1970	Freehold of The Ritz conveyed to Milstern Sydney Pty Ltd (became Milstern Health Care Pty Ltd). The affairs of Ritz Hotel (Leura) Pty Ltd were wound up.
1970 May	The Ritz Nursing Home opened officially by Jack Lang. Building remodelled to accommodate 148 patients, with the changes being designed by architect Hugh August Buhrich.
Ca 1985	Role changed to accommodating patients suffering dementia.
2004	Attached two storey ward wing built/
2018	The Ritz Nursing Home closed owing to failures in its quality of care and consequent withdrawal of accreditation.

### 3.0 PHYSICAL DESCRIPTION

Inspections of the site and buildings were carried out by John Oultram in December 2019 and February 2020. The site and key plan are shown in Figure 3.1.

The inspection included the interiors of the building. The description below is a summary of the inspections.

#### 3.1 SITE

The Ritz Nursing Home is a large site bordered by Leura Mall, Megalong Street and Wascoe Street. The site slopes to the northwest, west and south and is elevated above the surrounding streets with embankments to the north and west though the access to Leura Mall is at grade. The site is partly terraced and is heavily landscaped with a large number of mature trees and shrubs.

The major built component is the former Ritz Hotel a late Victorian building that has later additions to the south and west. There are two, single storey houses on the site, the former manager's residence set to north of The Ritz and a single, storey, weatherboard cottage to the south of the Ritz (Education Offices).

There is a single storey laundry complex to the south of The Ritz and various outbuildings, sheds and covered walkways.

### 3.2 MAJOR BUILDINGS

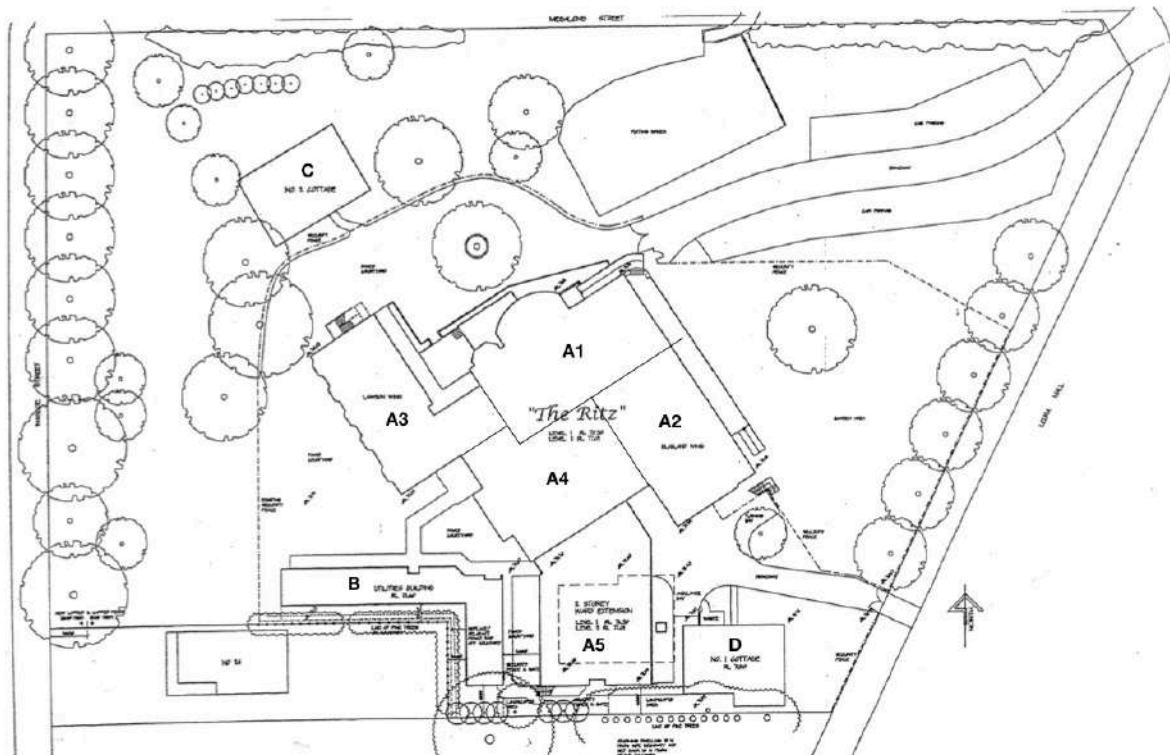


Figure 3.1 The Ritz - Buildings Key Plan

The major buildings on the site are:

	BUILDING	DESCRIPTION
A1	The Ritz Hotel	Original three storey Hotel
A2	The Ritz Hotel – South Wing	Early two storey extension
A3	The Ritz Hotel – West Wing	Early two storey extension
A4	The Ritz Nursing Home – Infill Wing	Later and modern, two storey extension
A5	The Ritz Nursing Home – Modern Extension	Modern two storey extension
B	Laundry	Single storey service building and stores
C	Manager's Residence	Single storey, Inter War house
D	Education Offices	Single storey, Edwardian house

The most significant built elements on the site are the original Hotel and its two extensions and the Manager's Residence.

The Education Offices are a modest example of an Edwardian, weatherboard house and other buildings on the site are later, aged care buildings to a modern detail.

### 3.3 THE RITZ - BUILDING A1 THE ORIGINAL HOTEL

The building has been divided into sections reflecting the stages of the later extensions including the aged care facility at the rear. The original Hotel is partly intact in form and detail externally as are the two later, extensions to the south and west. However, some of the original detail has been removed and there are later alterations to the exteriors.

### 3.3.1 External

The original a section of The Ritz is a three storey building in a hybrid late Victorian Gothic style.

The building has a projecting gable to the north with a segmental bay window at the ground floor with a flat roof behind a low parapet. There is a two storey, wrap around, timber verandah to the front with a skillion, terracotta tile roof supported on cast iron columns. The verandah has a splay at the first floor spandrel now lined with fibro. The verandah has been partly infilled at the first floor and infilled at the ground. There is a later, curved extension to the ground floor that is set to the west of the main entrance that is accessed by modern ramps from the drive with a flat roof over.

The building is in rendered masonry and the projecting bay has stucco mouldings at the parapet and the upper gable has a stucco string course at the eave. The ground floor and part of the first floor verandah has been infilled with fibro and timber framed glazing. The building has a steeply pitched, terracotta tile roof that has a double gable to the east (oddly off centre) and a series of gabled dormers to the north, south and west with a larger dormer to the north. The dormers are clad in weatherboard and have two pane, double hung, timber sashes.

Original windows are extant to some of the elevations and the front gable has timber sash windows at each level with stone cills decorated with an inset V. The upper gable has pairs of timber casement with Gothic style, arched upper panes. The front verandah retains full height, 1+3 and 1+1 pane, double hung, timber sashes.

### 3.3.2 Internal

Internally the building retains part of its original and early layout at the ground and first floors but has been very heavily altered with rooms divided and altered and most of the original fabric removed or covered apart from some arches and windows. The original section has been connected to the two, later wings and there is a single and two storey, infill section to the immediate rear that formed a second hall running east-west across the building.



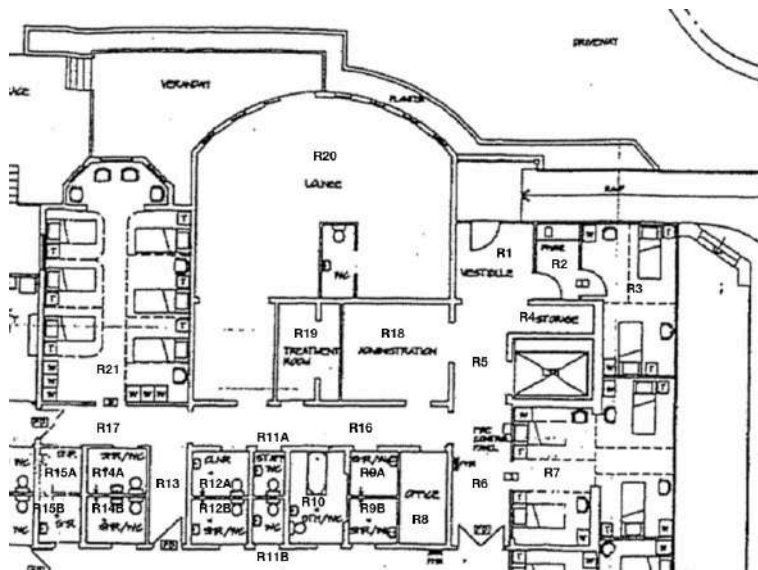


Figure 3.2 Building A1 – Original Hotel Ground Floor

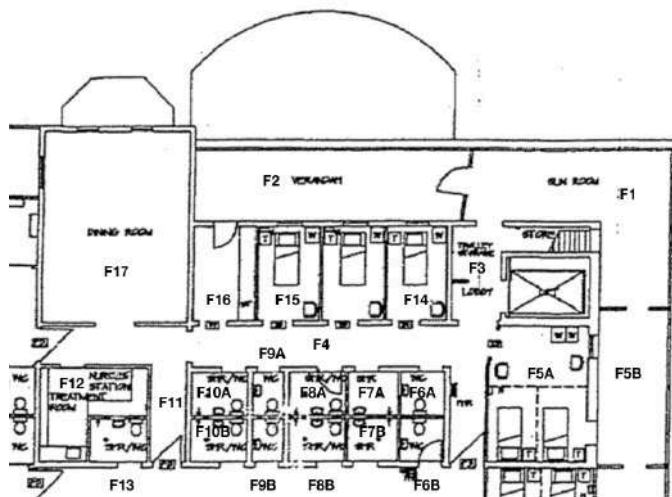


Figure 3.3 Building A1 – Original Hotel First Floor

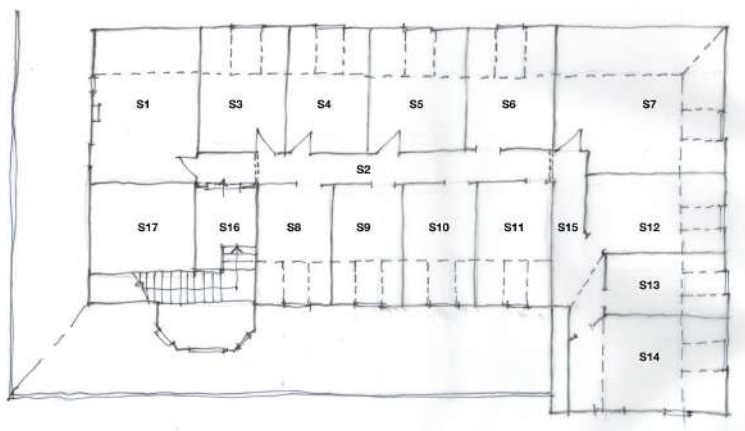


Figure 3.4 Building A1 – Original Hotel Second Floor

### 3.4 THE RITZ – BUILDING A2 SOUTH WING

#### 3.4.1 Generally

The southern wing appears to date from 1914. The extension followed the detail to the original building extending the verandah to the east in a similar detail and providing a double bank of what were presumably bedrooms off a central corridor.

#### 3.4.2 External

The building is in coursed render on metal lath with a gabled, terracotta tile roof. There is a timber verandah to the east with a skillion, terracotta tile roof supported on cast iron columns. The verandah has a cranked spandrel at the first floor and has been infilled at the ground floor with masonry spandrels and multi-paned, timber glazing set between the original cast iron columns. There is a modern, external, steel fire stair to the south.

The upper floor has original, faceted bay windows to the central void.

### 3.5 THE RITZ – BUILDING A3 WEST WING

#### 3.5.1 Generally

The west wing also appears to have been built c. 1914 and followed the detail to the southern wing in an L shaped plan but with timber columns to the first floor verandah. The addition provided a double bank of what were presumably bedrooms off a central corridor.

#### 3.5.2 External

The building is in coursed, render on metal lath with a gabled, terracotta tile roof. The rear section of the roof to the south has been replaced in corrugated metal. There is a wrap around, timber verandah to the east and north with a skillion, terracotta tile roof supported on timber and cast iron columns. The verandah has a cranked, timber shingle spandrel at the first floor and is open at both levels. There is a modern, external, steel fire stair to the north. The west elevation has double height, faceted bay windows with rendered spandrels set off the ground.

### 3.6 THE RITZ – BUILDING A4 CENTRAL INFILL

#### 3.6.1 Generally

The date of the central wing is not clear though it may be an early addition as the internal photographs show large rooms that could not have been accommodated in the original building or the later wings.

The infill has been converted to a kitchen and offices at the ground floor with bedrooms to the west (likely a modern extension). The ground floor infilled the central passage to the south wing. There is second hall along the back of the original hotel that carries south to the modern wing at the rear.

The upper floor has a dining room, nurses' stations and service areas and bedrooms to the west above those below.

### 3.7 THE RITZ – BUILDING A5 MODERN EXTENSION

#### 3.7.1 Generally

The rear extension dates from c. 2005 and is modern throughout.

#### 3.7.2 External

The building is in rendered, lightweight construction with a gabled, corrugated metal roof. Doors and windows are in aluminium. There is an external, steel fire stair to the south.

### 3.8 BUILDING B – LAUNDRY

To the southwest of the Ritz is a single storey laundry, therapy and service rooms on an L shaped plan. The building does not appear in the 1975 aerial of the site and was likely built in the late 1970s for the aged care accommodation.

### 3.9 BUILDING C – MANAGER'S RESIDENCE

To the north of the Ritz is the former manager's residence, a single storey, Edwardian period cottage set on a large undercroft. The building is in the Edwardian Arts and Crafts/Californian bungalow style. It is relatively intact externally though the eastern verandah has been infilled and there is a crude addition to the north on posts. The interior is largely intact to its original layout and detail and retains much of its original fabric including plasterwork and bespoke joinery.

#### 3.9.1 Internal

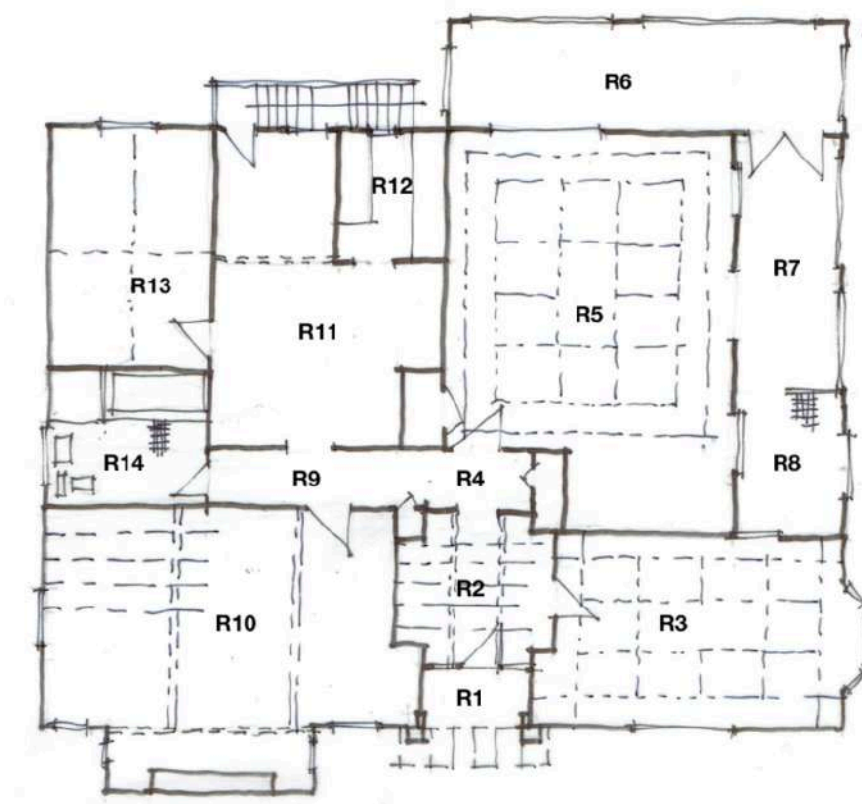


Figure 3.5 Building C – Manager's Cottage

### 3.10 BUILDING D – EDUCATION OFFICES

To the southeast of the Ritz is a small, weatherboard cottage that has been converted to offices/teaching rooms. The building is an example of an Edwardian period cottage. Its date of construction is not known but the parcel of land was purchased by the Hotel in 1915 and presumably the cottage was extant at this time.

### 3.11 OUTBUILDINGS AND SITE FEATURES

There are a number of outbuildings and breezeways mainly close to the Ritz that are largely later structures.

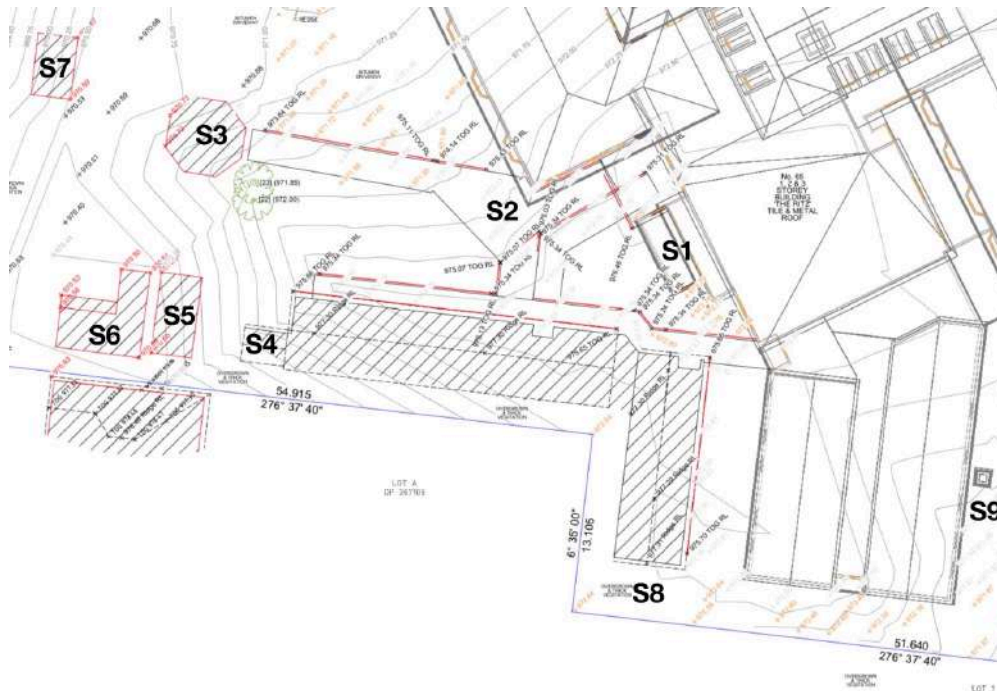


Figure 3.6 Site Features – Key Plan

	ITEM	DESCRIPTION
S1	SHED	Single storey, weatherboard shed with skillion corrugated metal roof
S2	PERGOLA	Single storey covered walkway with corrugated metal roof on steel posts
S3	GARDEN	Octagonal shade structure with corrugated metal roof on steel posts with timber bench and seats
S4	SHED	Single storey store in fibro weatherboards with gabled, corrugated metal roof
S5	SHED	
S6	SHED	
S7	SHED	
S8	STORE	Single storey, covered storage area with skillion, corrugated metal roof and shade cloth walls
S9	CHIMNEY	Brick Chimney
S10	SITE FENCING	Aluminium picket style fencing and gates
		Cyclone fencing

### 3.12 LANDSCAPING

#### 3.12.1 Generally

The site is large and has landscaped areas primarily to the east, north and west. The streets slopes and there are embankments to Megalong Street and Wascoe Street and to the car park in Leura Mall. There is a drive and informal car park off the main entry to Leura Mall and a paved drive at the main entrance to The Ritz that loops around the building to the laundry area at the rear.

There are concrete paths around The Ritz and partly through the site.

The site is heavily planted with trees and shrubs and there are lawn areas to the northwest (former croquet lawn), around the manager's residence and to the west (former tennis courts.).

The main building is set on a largely level site with a recreation garden to the east. To the north and west the site is terraced into a series of garden elements that circle around the main level and drop to the west. Each area is partly defined by low, dry stone walls or dense screen plantings that include rhododendrons, photinias, hawthorn and pittosporum. There are a number of tree ferns in the manager's garden.

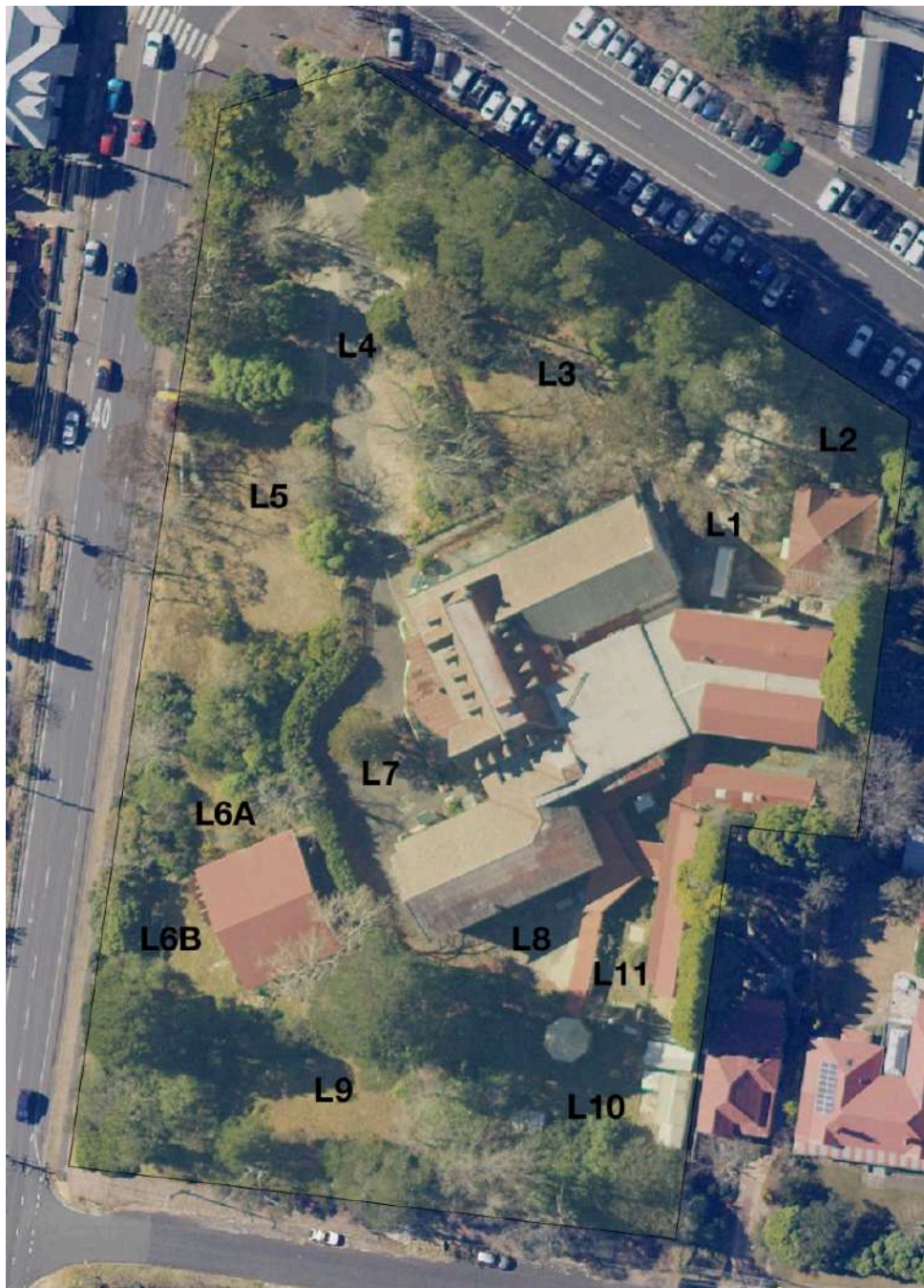
The site overall is dominated by the mature pines (Monterey Pines) that provide extensive screening to and from the buildings and that are reinforced with a mixture of largely exotic trees of various species including Himalayan Cedars, Liquidamber, Tree of Heaven, Cypress, Elm and Plane trees with some later flowering species (e.g. flowering cherries).

There are few native trees on the site (Eucalypts).

The gardens have been little maintained and many of the screen plantings are heavily overgrown and have invasive weeds. Some of the Monterey pines have been lopped and some trees appear in poor condition and are covered with invasive ivy.

The gardens and landscape features are discussed at length in the Cultural Landscape Study.





	AREA
L1	SERVICE AREA
L2	EDUCATION OFFICE GARDEN
L3	RESIDENTS GARDEN
L4	CAR PARK AND DRIVE
L5	CROQUET LAWN
L6	MANAGER'S GARDEN
L7	FORECOURT
L8	SERVICE COURT
L9	TENNIS COURT
L10	MIDDLE GARDEN
L11	LAUNDRY COURT

Figure 3.32 Landscape Key Plan

## 4.0 HERITAGE LISTINGS AND CONTROLS

### 4.1 STATUTORY HERITAGE CONTROLS

#### 4.1.1 Heritage NSW of the NSW Department of Premier and Cabinet

#### 4.1.2 State Heritage Register

Under the Heritage Act 1977 (as amended), The NSW Heritage Council, administered by Heritage NSW of the NSW Department of Premier and Cabinet, maintains the State Heritage Register (SHR), a register of items and places that are considered to have heritage significance at a state level. The subject property is not listed on the Register.

#### 4.1.3 State Heritage Inventory

Heritage NSW also compiles the State Heritage Inventory (SHI), a collated database of all places listed on statutory heritage lists, including Local Environmental Plans. The subject property is listed on the Inventory (SHI 1170453) and the listing sheet is attached to the CMP. Listing on the Inventory has no statutory implications for development at the place but reflects the listing of the property on the BMLEP (see below).

#### 4.1.4 Archaeology

The *NSW Heritage Act 1977* (as amended) contains various legal measures to protect historical archaeological resources and is the principal piece of legislation that provides automatic statutory protection for non-Indigenous (European) heritage and the requirements for its management in New South Wales. The administration of the Act is overseen by the *NSW Heritage Division* and is guided by the NSW Heritage Council in their regulatory role as part of the NSW Office of Environment and Heritage.

The primary purpose of the *NSW Heritage Act 1977* is to protect, conserve and manage the environmental heritage of the State. Environmental heritage is broadly defined under Section 4 of the Act as consisting of the following:

*„those places, buildings, works, relics, moveable objects, and precincts, of State or Local heritage significance*

Amendments to the Act made in 2009 have changed the definition of an archaeological 'relic' whereby a 'relic' is now referred as an archaeological deposit, artefact, object or material evidence that:

- a) Relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and
- a) Is of State or Local heritage significance

The statutory procedures for dealing with archaeological sites are outlined in the *HAA* and the relevant sections of the Act require that:

- Land containing relics should not be disturbed
- Where relics are known disturbance should only be carried out by permit
- Discovery of relics should be notified to the Heritage Council

Heritage NSW is responsible for the issuing of permits to undertake archaeological excavation. Disturbance or development of a site that contains relics may require the issue of a permit from the Heritage Council under Section 140 of the *Heritage Act*.

#### 4.1.5 Local Authority

The local authority for the area is Blue Mountains City Council. The property is listed as a heritage item in Schedule 5 Part 1 of the *Blue Mountains Local Environmental Plan 2015* (as amended) (BMLEP).

REF	ADDRESS	ITEM	RANKING
LA012	201-223 Leura Mall	<i>The Ritz</i>	Local

The property is in the vicinity of heritage items identified in BMLEP 2015 at:

REF	ADDRESS	ITEM	RANKING
LA079	187-197 Leura Mall	St David' Presbyterian Church	Local
LA013	192-194 Leura Mall	Café Bon Ton	Local
LA008	198-204 Leura Mall	Culgoa	Local
ILA056	231-235 Leura Mall	Bloome Park	Local

The property is in the vicinity of heritage items identified in BMLEP 2005<sup>1</sup> at:

REF	ADDRESS	ITEM	RANKING
LA024	24-26 Wascoe Street#	Kanowna Group	
LA089	30 Wascoe Street	Kemarle	
LA096	124-126 Megalong Street	Megalong Street cottage group	

#Council has conformed that 24 Wascoe Street is **not** a heritage item under the BMLEP 2005. However the house is within a period housing area identified in the BMLEP 2005. Council may take into consideration the heritage provisions in Clauses 61 and 62 of the BMLEP 2005.

The property is also in the vicinity of two, heritage conservation areas:

REF	ADDRESS	ITEM	RANKING
LA106		Leura South Heritage Conservation Area	Local
LA018		Central Leura – Uran Conservation Area	

Development at the site would be the subject of the heritage provisions of the BMLEP 2015 relating to the development of a heritage item, in the vicinity of a conservation area and in the vicinity of a heritage item.

Council may also take into consideration the heritage provisions of the *Blue Mountains Development Control Plan 2016* (as amended) (BMDCP) that contains objectives and controls for the development of heritage items, in the vicinity of heritage items and in the vicinity of heritage conservation areas.

<sup>1</sup> No heritage maps were available for the 2005 LEP on the Blue Mountains City Council website





Figure 4.1 Blue Mountains Local Environmental Plan 2015 - Heritage Map HER\_002GA

Heritage items are coloured brown. The subject site is item LA012. Note that the plans do not show items listed under the BMLEP 2005

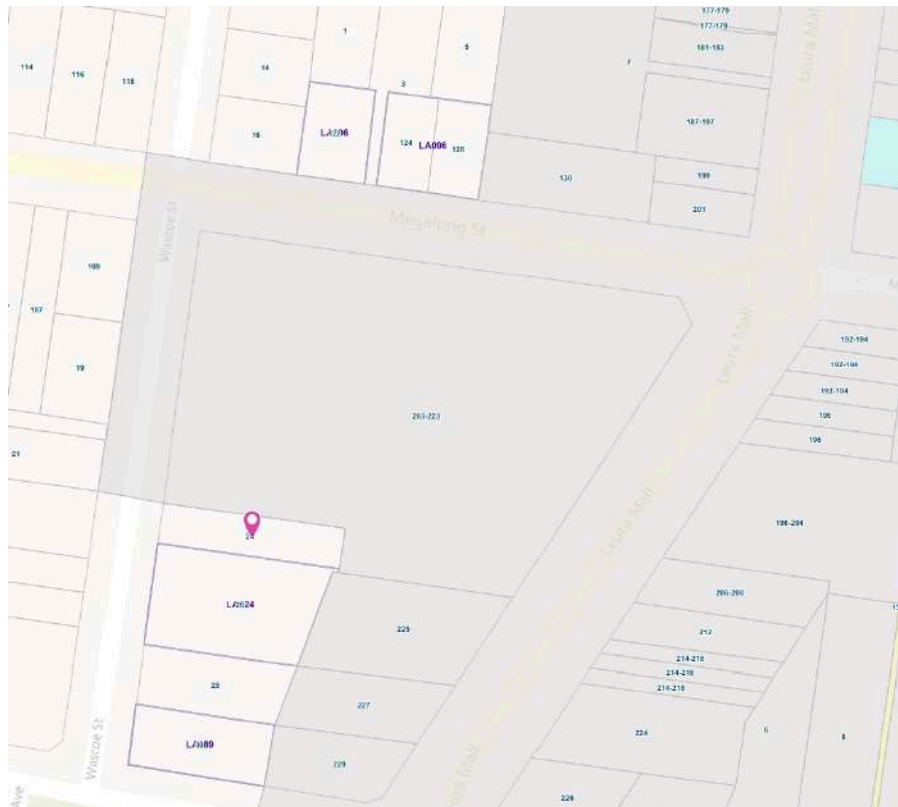


Figure 4.1 Blue Mountains Local Environmental Plan 2005 – Interactive Maps. The map does not seem to indicate 24 Wascoe Street (highlighted) as a heritage item

Source: Blue Mountains City Council

## 4.2 NON STATUTORY HERITAGE LISTINGS

### 4.2.1 National Trust

The property is classified on the Register of the National Trust of Australia (NSW). Classification on the Register has no statutory implications for development at the place but is widely regarded as an authoritative indication of significance.

### 4.2.2 Australian Institute of Architects NSW

The place is not classified on the Australian Institute of Architects (NSW) Register of Significant Buildings in New South Wales.

## 4.3 OTHER STATUTORY CONTROLS

Development at the site may be the subject of other statutory control such as the Building Code of Australia (BCA) and the Disability Discrimination Act that can have an impact on works at the site particularly to heritage buildings where the requirements for fire rating and disabled access can lead to changes and impact on significant fabric and spaces.

## 5.0 DISCUSSION OF SIGNIFICANCE

The CMP contained a detailed assessment and statement of significance.

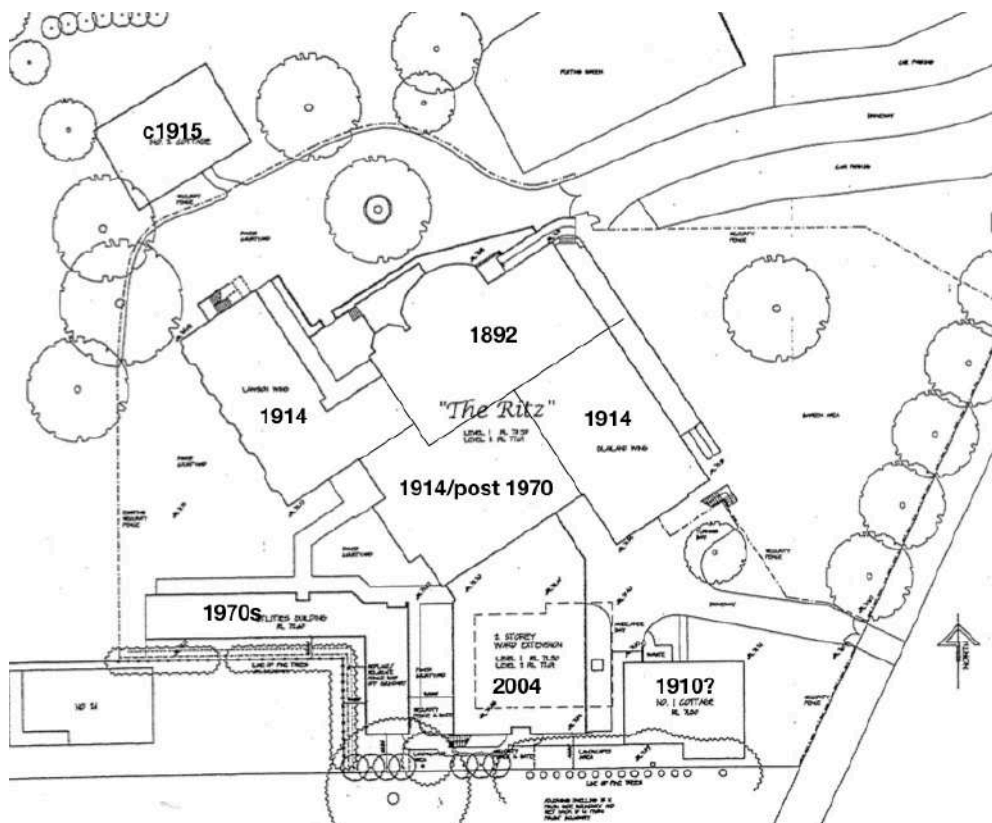
### 5.1 PREAMBLE

The site has seen various phases of development from the early grants through to the purchase and development for aged care.

Phase 1	1879-1888	Development of Leura and the Leura Estate
Phase 2	1890-1913	The Coffee Palace
Phase 3	1914-1940	The Ritz Hotel Inter War years
Phase 4	1940-1946	War Years Convalescent Home
Phase 5	1946-1970	The Ritz Hotel Post War years
Phase 6	1970-	Aged Care

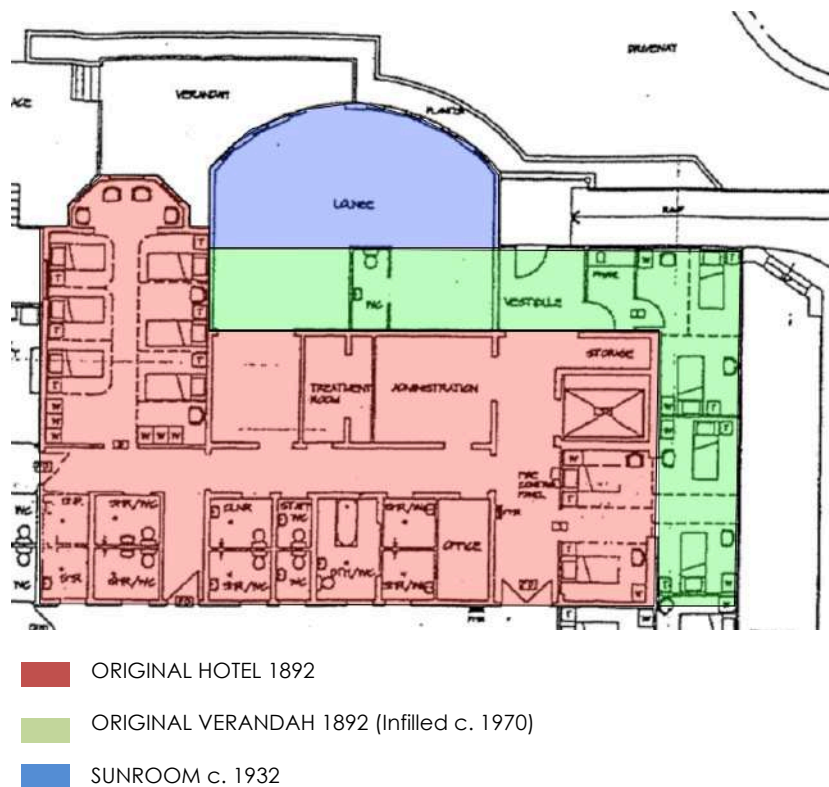
#### 5.1.1 Historical Development

The historical development of the built elements is shown below.



CMP Figure 4.6

Site - Historical Development



CMP Figure 4.7 The Ritz – Historical Development. The interiors were altered from the 1970s onwards and may have been altered in the Bloomes' time in 1915

## 5.2 AESTHETIC SIGNIFICANCE

The two most significant buildings on the site are:

- The Ritz including the 1914 extensions
- The Manager's Residence c. 1915

## 6.0 ASSESSMENT OF SIGNIFICANCE

The following assessment and statement of significance is taken from the CMP.

### 6.1 CRITERIA FOR ASSESSMENT

The Heritage Office of New South Wales has issued guidelines as part of the NSW Heritage Manual regarding the assessment of heritage significance.

*An item will be considered to be of State (or) local significance if, in the opinion of the Heritage Council of NSW, it meets one or more of the following criteria.*

Criterion (a)	<i>An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
	The Ritz Hotel is the earliest and grandest Hotel in Leura and was built in 1892 for The Leura Hotel and Coffee Palace Limited and called the Coffee Palace (later The Palace and The Ritz) and firmly established the fledgling township as a tourist and holiday destination
	The hotel was in operation for nearly 80 years and was successfully expanded over time providing services to larger organisations for conferences and functions
	The Hotel was requisitioned by the Government in 1942 and served as a convalescent home during the second World War run by the Australian Red Cross providing services for wounded service personnel
	The Hotel was converted to aged care use in 1970 and served this function till its closure in 2018
	High Local Significance

Criterion (b)	<i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
	The place is strongly associated with:
	The Leura Hotel and Coffee Palace Limited and its chairman William Eyre
	Architect Ernest William Bonney who designed the original Hotel
	Builder Henry James Weine who constructed the Hotel
	The place is also associated with a number of later owners and managers including:
	Mrs Ellen Sarah Bloome and her husband James Bloome who were active in the hotel trade in Leura and who considerably expanded the hotel
	Henry Elmer Messenger who undertook improvements and renovations in the Inter War years
	Alfred James Craig and his mother Elizabeth Craig and his aunt Mrs Mary Shiels who owned and ran the hotel for a number of years
	Arthur McNiven and his family who ran the hotel for nearly forty years
	Milster Pty Limited (later Milster Health Care Pty Limited) that converted the hotel to an aged care facility
	High Local Significance

Criterion (c)	<i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)</i>
	The building is an unusual and distinctive example of a Gothic Revival style hotel with later alterations in the same vein that largely retains its form and parts of its distinctive detailing from each period
	In its heyday the Hotel would have been a distinctive local landmark and the site remains so
	The property has extensive gardens that date from the early period of development that provide a important setting to the Hotel and signal its early use and that retain many early plantings including extensive plantings of Monterey Pines
	High Local Significance

Criterion (d)	<i>The item has strong or special association with a particular community or cultural group in NSW (or the local area) for social or spiritual reasons</i>
	The place has operated as a hotel since 1892 and has some associations with:
	The thousands of guests that have passed through its rooms
	The numerous staff who have worked at the hotel
	The place operated as a aged care facility for nearly fifty years and would have associations for the numerous residents and staff
	The local community by providing for a focal point for local activities and the hotel has been of considerable heritage interest since its construction
	Local Significance

Criterion (e)	<i>An item has the potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
	The archaeological potential of the site is low
	Does not meet the criterion

Criterion (f)	<i>An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
	Hotels of this type are common in NSW but the style of the hotel is unusual locally and in the wider area
	Rare Locally

Criterion (g)	<i>An item is important in demonstrating the principal characteristics of a class of NSW's Cultural or natural places; or Cultural or natural environments</i>
	The property is an example of a late Victorian Hotel
	Does not meet the criterion at a State level
	<i>(or a class of the local area's: Cultural or natural places; or Cultural or natural environments)</i>
	The property is an example of a late Victorian Hotel that operated on the site for nearly eighty years
	Representative Historically Locally Representative Aesthetically Locally Rare locally Representative Socially Locally

CMP pp. 100 &amp; 101

## 6.2 STATEMENT OF SIGNIFICANCE

The Burra Charter defines cultural significance as:

*Aesthetic, historic, scientific, social or spiritual value for past, present or future generations*

The Ritz Hotel is of cultural significance as the earliest and grandest Hotel in Leura and was built in 1892 for The Leura Hotel and Coffee Palace Limited and called the Coffee Palace (later The Palace and The Ritz) and firmly established the fledgling township as a tourist and holiday destination. The Hotel served as such for nearly eighty years.

During the Second World War the Hotel was requisitioned by the Government and served as a convalescent home run by the Australian Red Cross providing services for wounded service personnel.

The Hotel was converted to aged care use in 1970 and served this function till its closure in 2018.

The place is strongly associated with The Leura Hotel and Coffee Palace Limited and its chairman William Eyre; Architect Ernest William Bonney who designed the original Hotel and Builder Henry James Weine who constructed the Hotel.

The place is also associated with a number of later owners and managers including: Mrs Ellen Sarah Bloome and her husband James Bloome who were active in the hotel trade in Leura and who considerably expanded the hotel; Henry Elmer Messenger who undertook improvements and renovations in the Inter War years; Alfred James Craig and his mother Elizabeth Craig and his aunt Mrs Mary Shiels and Arthur McNiven and his family who ran the hotel for nearly forty years till its closure in 1970.

The place has later associations with Milstern Pty Limited (later Milstern Health Care Pty Limited) that converted the hotel to an aged care facility.

The building is an unusual and distinctive example of a Gothic Revival style hotel with later alterations in the same vein that largely retains its form and parts of its distinctive detailing from each period. In its heyday the Hotel would have been a distinctive, local landmark and the site remains so.

The property has extensive gardens that date from the early period of development and that provide the setting to the Hotel and signal its early use and that retain many early planting including extensive plantings of Monterey Pines.

The place operated as a hotel from 1892 til 1970 and has some associations with the thousands of guests that have passed through its rooms and the numerous staff who have worked at the hotel.

The place operated as an aged care facility for nearly fifty years and would have associations for the numerous residents and staff.

The place would also have important associations with the local community by providing for a focal point for local activities and has been of considerably heritage interest since its construction.

The Hotel is rare locally.

The place is of High Significance Locally.

CMP p. 102



### 6.3 STATE HERITAGE INVENTORY LISTING SHEET

The listing sheet for the property (SHI 11705453) also contains a statement of significance under the relevant criteria:

*Criterion (a): Cultural and Natural History*

*The earliest, grandest and longest lived of all Leura tourist establishments, the Ritz has state significance as a major hotel for three quarters of a century, a landmark from the western railway third only to the Carrington and the Hydro Majestic, attracting tourists from many places, and an important catalyst in the commercial and tourist development of Leura and the adjacent scenic walks.*

*The garden and grounds of the Ritz are of historic significance on a local level for their evidence of the principal characteristics of a garden associated with a large Blue Mountains hotel.*

*Criterion (c): Aesthetic*

*The Ritz has a unique character among the former Blue Mountains guesthouses created by the use of gothic elements of steeply pitched roofs, chimneys, gables and dormers. While most of its interiors were apparently lost in its conversion to a nursing home, it retains much of its fine exterior detailing, particularly the variety of joinery and the generous verandahs. The fine gardens enhance the building providing interesting views to and from the home.*

*The chimney of the boiler house has importance through its great height and fine quality brickwork, reminiscent of the better known landmark at the Carrington Hotel in Katoomba.*

*The Education Centre is also an important element in the group as a fine and interesting example of an inter-war California bungalow residence.*

*The garden and grounds of the Ritz are of aesthetic significance on a local level for their evidence of the principal characteristics of a garden associated with a large Blue Mountains hotel or guesthouse, viz. formal entrance drive, treed grounds, croquet lawn and tennis court. The early plantings including the landmark Monterey pines (*Pinus radiata*) and the boundary plantings are also aesthetically significant.*

We would partly concur with this assessment apart from where evident in the CMP.



## 7.0 DEFINING AND RANKING SIGNIFICANT ELEMENTS

### 7.1 PREAMBLE

In determining conservation policy for the place significant elements were identified and ranked according to their relative significance.

The following elements were identified and assessed on the associated diagrams:

- Significant built elements
- Significant landscape elements

### 7.2 GRADINGS OF SIGNIFICANCE

Different components of the place may make a different relative contribution to its heritage value. The NSW Heritage Manual has identified gradings of significance that can be applied to the place that have been amended as follows:

E	Exceptional	Rare or outstanding item of State Significance
		High Degree of intactness
		Item can be interpreted relatively easily
H	High	High degree of original fabric
		Demonstrates a key element of the of the item's significance
		Alterations do not detract from significance
M	Moderate	Altered or modified elements
		Elements with heritage value and which contribute to the overall significance of the item
L	Little	Altered or modified elements with little heritage value
		Alterations detract from significance
		Difficult to interpret
I	Intrusive	Damaging to the items heritage significance

#### 7.2.1 Buildings

The Ritz is the earliest, extant building at the site but has been extended and altered with early side and rear wings and later extensions to the rear. There has been very extensive internal change though some of the original bedroom spaces remain in the early wings along with original fabric.

The Manager's Residence is the most intact of the early buildings but has been slightly modified externally and internally. It retains much of its original layout and fabric.

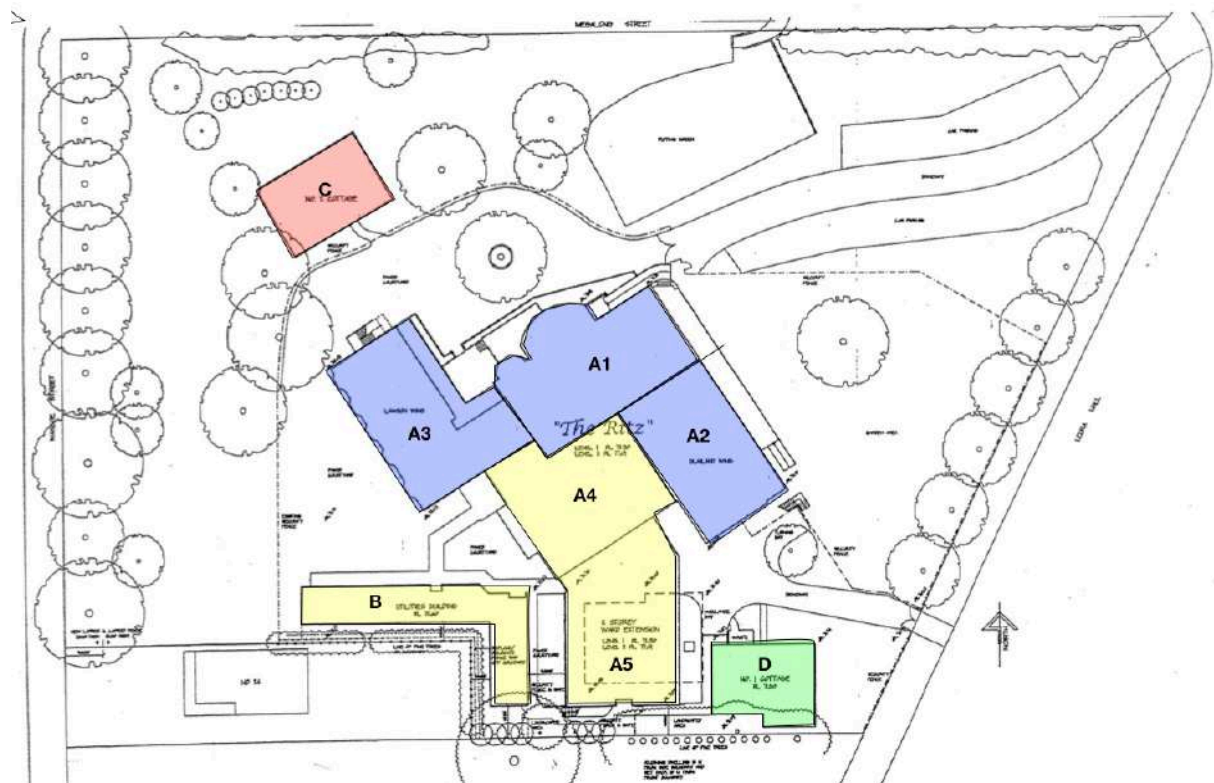
The second cottage on the site is a modest Edwardian cottage that was purchased rather than built by the hotel and has been altered.

The later additions are late twentieth century and, though they added facilities to the aged care centre, they could not be considered to be of merit in heritage terms.

### 7.2.2 Significant Spaces and Fabric

The rankings for the buildings on the site were shown in the following figures in the CMP:

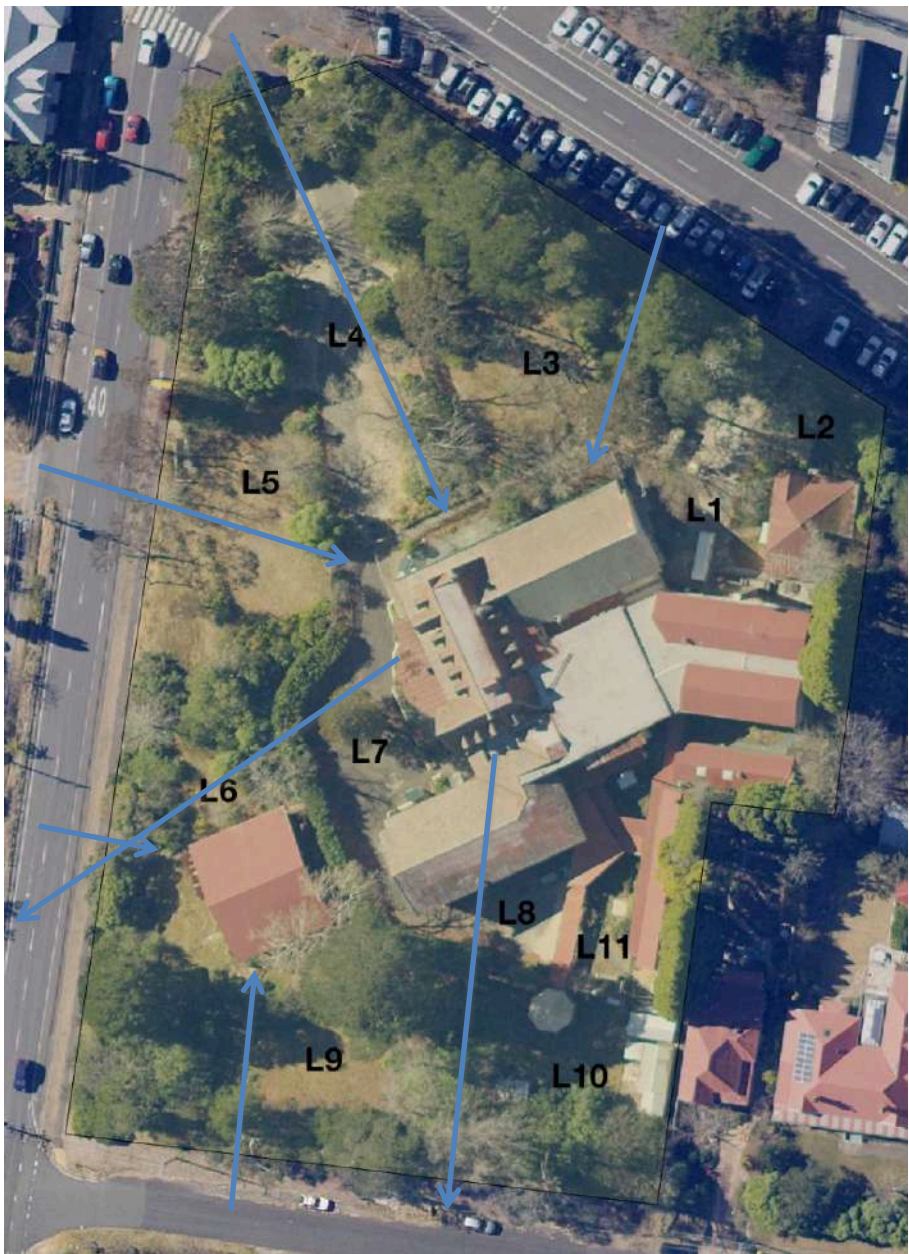
	BUILDING	FIGURE
	Overall Buildings	Figure 6.1
A1	The Ritz Hotel	
	Ground Floor	Figure 6.2
	First Floor	Figure 6.3
	Second Floor	Figure 6.4
A2	The Ritz Hotel – South Wing	
	Ground Floor	Figure 6.5
	First Floor	Figure 6.5
A3	The Ritz Hotel – West Wing	
	Ground Floor	Figure 6.6
	First Floor	Figure 6.7
A4	The Ritz Nursing Home – Infill Wing	Not ranked as no spaces or fabric of note
A5	The Ritz Nursing Home – Modern Extension	Not ranked as no spaces or fabric of note
B	Laundry	Not ranked as no spaces or fabric of note
C	Manager's Residence	Figure 6.8
D	Education Centre	Figure 6.9



<span style="color: red;">■</span>	E	EXCEPTIONAL
<span style="color: blue;">■</span>	H	HIGH
<span style="color: green;">■</span>	M	MODERATE
<span style="color: yellow;">■</span>	L	LITTLE
<span style="color: purple;">■</span>	I	INTRUSIVE

RANKING	KEY	BUILDING
EXCEPTIONAL	C	Manager's Residence
HIGH	A1	The Ritz Hotel
	A2	The Ritz Hotel – South Wing
	A3	The Ritz Hotel – West Wing
MODERATE	D	Education Centre
LITTLE	A4	The Ritz Nursing Home – Infill Wing
	A5	The Ritz Nursing Home – Modern Extension
	B	Laundry

CMP Figure 6.1 The Ritz – Ranking of Built Elements



RANKING	KEY	AREA
HIGH		PERIMETER TREE PLANTINGS OF PINES
		DRIVE LOCATION
	L3	ENTRY GARDEN
	L5	CROQUET COURT
	L6 A & B	MANAGER'S GARDEN
MODERATE	L9	TENNIS COURT
	L4	CAR PARK AND DRIVE
	L10	LOWER GARDEN
LITTLE	L1	SERVICE AREA
	L2	EDUCATION OFFICE GARDEN
	L7	FORECOURT
	L8	SERVICE COURT
	L11	LAUNDRY COURT

CMP Figure 6.11 The Ritz – Ranking of Significant Landscape and Views

## 8.0 PROPOSED DEVELOPMENT

### 8.1 CURRENT PROPOSALS

The current owners are proposing to adapt the current building for residential aged care and add accommodation to the south and west.

#### 8.1.1 Architectural Drawings

The current design proposals are shown on the following Drawings:

##### ARCHITECTURAL DRAWING LIST

DA 000	COVER PAGE	[E]
DA 001	COMPLIANCE SUMMARY	[E]
DA 010	DEMOLITION PLAN 01	[D]
DA 011	DEMOLITION PLAN 02	[D]
DA 016	PROPOSED SITE PLAN	[E]
DA 025	ALTS + ADS - GROUND FLOOR	[E]
DA 026	ALTS + ADS - LEVEL 1	[E]
DA 027	ALTS + ADS - ROOF LEVEL	[E]
DA 101	BASEMENT - 200	[E]
DA 102	LOWER GROUND FLOOR PLAN - 200	[E]
DA 103	GROUND FLOOR PLAN - 200	[E]
DA 104	LEVEL 1 PLAN - 200	[E]
DA 105	ATTIC PLAN - 200	[E]
DA 106	ROOF PLAN - 200	[E]
DA 200	ELEVATIONS 01	[E]
DA 201	ELEVATIONS 02	[E]
DA 202	ELEVATIONS 03	[E]
DA 300	SECTIONS 01	[E]
DA 301	SECTIONS 02	[E]
DA 302	SECTIONS 03	[B]
DA 400	MATERIAL SCHEDULE 01	[E]
DA 401	MATERIAL SCHEDULE 02	[E]
DA 402	MATERIAL SCHEDULE 03	[E]

##### COMPLIANCE DIAGRAMS

DA 500	FSR CALCULATION (LEP)	[E]
DA 501	FSR CALCULATION (LEP)	[E]
DA 512	FSR CALCULATION (SEPP HOUSING 2021)	[E]
DA 513	FSR CALCULATION (SEPP HOUSING 2021)	[E]
DA 520	LANDSCAPE AREA CALCULATION	[E]
DA 530	DEEP SOIL CALCULATION	[E]
DA 540	HEIGHT LIMIT DIAGRAM 01	[E]
DA 541	HEIGHT LIMIT DIAGRAM 02	[E]
DA 542	HEIGHT LIMIT DIAGRAM 03	[E]
DA 543	HEIGHT LIMIT DIAGRAM 04	[E]
DA 544	HEIGHT LIMIT DIAGRAM 05	[E]
DA 610	SHADOW DIAGRAMS - JUNE 21 - 9AM	[E]
DA 611	SHADOW DIAGRAMS - JUNE 21 - 10AM	[E]
DA 612	SHADOW DIAGRAMS - JUNE 21 - 11AM	[E]
DA 613	SHADOW DIAGRAMS - JUNE 21 - 11.30AM	[E]
DA 614	SHADOW DIAGRAMS - JUNE 21 - 12PM	[E]
DA 615	SHADOW DIAGRAMS - JUNE 21 - 1PM	[E]
DA 616	SHADOW DIAGRAMS - JUNE 21 - 2PM	[E]
DA 617	SHADOW DIAGRAMS - JUNE 21 - 2.30PM	[E]
DA 618	SHADOW DIAGRAMS - JUNE 21 - 3PM	[E]
DA 620	SOLAR ANALYSIS TO ADJOINING PROPERTY - SHEET 1	[E]
DA 621	SOLAR ANALYSIS TO ADJOINING PROPERTY - SHEET 2	[E]
DA 622	SOLAR ANALYSIS TO ADJOINING PROPERTY - SHEET 3	[E]

Additional material:

**SUPPLEMENTARY DRAWINGS**

DA720 RENDER CONCEPT IMAGES

[A]

dated May 2022 and prepared by PBD Architects.

The proposal include:

**8.1.2 Excavation**

- Excavation of the southern and western portion of the site for car parking, service rooms, stores, lifts, stairs and a cinema
- Excavation below the South and West wings

**8.1.3 Demolitions**

- B Laundry
- A4 Ritz Nursing Home Infill Wing
- A5 Ritz Nursing Home Modern Extension
- A1 Curved bay window to the hotel
- Chimney

The Education Centre (Building D) is to be retained.

**8.1.4 Rebuilding**

The external form and detail the south and west wings of the early Hotel will be retained with the interiors adapted to suit the new use.

Both wings will be set on new basements.

**8.1.5 Alterations/Adaptive Reuse**

- A1 Ritz Hotel
- C Manager's House

The original section of the hotel, including its second floor will be converted to aged care with a central entrance hall at the ground floor. The lift will be relocated to the new additions. The curved bay addition to the front will be removed

The original section of the hotel will be conserved and dormers reinstated to the roof. Original doors and windows will be largely retained and the front wall line set back to its original alignment at the entry. The verandah at the first floor will be retained along with its timber shingle skirt.

The roofs to the retained and rebuilt sections will be in terracotta tiles to match the existing.

The manager's residence will be converted to a wellness centre and offices and altered at the rear at the ground floor and the lower floor partly excavated for the wellness centre that has a terrace off to the north. The open verandah will be reinstated and connected to the later balcony to the north that will be rebuilt. The external stairs will be retained.



### 8.1.6 New Development

- New three storey development (with basement level) to the south and west and the early buildings

The new additions are arranged in series of linked buildings set around excavated courtyards to the south and west of the former hotel buildings and replace some of the buildings to be demolished.

The southern section is three storey (set partly in the ground) and is set back and angled from the alignment of the east wall of the south wing to the former hotel and has an regular setback along the side wall to the retained Education Office (Building B) and beyond along the southern boundary.

The addition is partly excavated into the ground and has a below ground staff area to the east with steps up to the eastern garden.

The additions are generally set at or close to the eaves of the early buildings and well below the ridge.

The modern aged care addition and rear a section of the former hotel will be replaced with a new wing linked to the eastern addition with common areas and a courtyard. There is a sunken courtyard to the rebuilt south wing to the former hotel.

The western section has a link to the new rear wing and is set square to the western and southern boundary to the adjoining house in Wascoe Street boundary. The western section is separated from the rebuilt west wing with an angled courtyard that is partly sunken below the existing levels.

The new buildings are in painted render and weatherboard with mansard roofs in painted shingle with low pitched, metal roofs with aluminium doors and windows. The upper levels below the roof have expressed render spandrels. The windows along the southern elevation to the west wing have angled splays with windows facing southeast.

### 8.1.7 Site Works

- New access/entry point to Wascoe Street
- New ramp, steps and terrace to the front of the original hotel.
- New terrace along the eastern side of the southern wing
- Repaving of the drive
- Removal of the informal parking areas
- Demolition of the bus shelter
- [New substation at the Wascoe Street drive](#)
- New site fencing

The new access drive to Wascoe Street has stone clad flank walls and the substation is set in a stone surround.

[The site fencing is largely to the perimeter at the top of the embankments of the site but is inset at the entry point to Leura Mall with a timber fence and gates.](#)

### 8.1.8 Landscaping

[The landscape proposals are shown on Drawings Nos. L000, L100, L101, L102 and L103 \(all revision F\) dated December 2021 and prepared by Brendan Moar and Svalbe & Co.](#)

The proposal include:

#### 8.1.8.1 East Garden

- New path layout and lawns
- New garden structure
- New plantings
- New screen plantings to the south

The garden will be laid out a 'stroll garden' with winding paths and stone flagged seating areas with a small garden structure to the centre. Some trees will be removed but the major plantings along the boundary will be largely retained.

#### 8.1.8.2 North Garden

- Reconfiguration and repaving of the drive
- New turning circle at the entry
- New pedestrian paths
- New turning circle and fountain at the building entry
- New plantings

The drive will be close to its current location and part of the former croquet lawn will remain. There are series of circular paths to the east of the Manager's Residence with plantings all round.

#### 8.1.8.3 West Garden

- New plantings and pathways
- New lawns
- New screen plantings to the south

The gardens wrap around the new buildings and into the central court at the west wing.

The garden levels will be largely retained but adjusted to the west to suit the lower levels of the new building. There is also landscaping and paving to the new courts between the buildings. The embankments to the north and west will be retained.



## 9.0 IMPACT OF THE PROPOSED WORKS

### 9.1 GENERALLY

The Ritz Hotel is of high significance and contains both built and landscape elements that signal the early development and use of the site.

The site and buildings have undergone considerable change (even in its early use) and the conversion of the place to a nursing home led to numerous internal and external changes that were largely unsympathetic and that have led to a considerable loss of fabric. The internal layouts particularly have been heavily altered and only fragments of the original hotel survive. The south wing has also been heavily altered though the west wing is more intact in terms of internal layout and detail.

There are modern additions to rear of the former hotel and the service wing at the rear of the hotel has been modernized throughout.

The manager's residence is more intact and has very high-quality interiors and external detail though the verandah has been infilled.

The small cottage to the south of the site was not built as part of the hotel development but was purchased by the hotel probably to provide staff accommodation.

The site is well landscaped and retains mature trees and shrub and other elements from its early development most notable being the perimeter plantings, drive and recreation areas at the former croquet lawn and tennis court and some stone walls.

Despite the changes, the building remains readable as a former hotel set in resort style grounds.

The proposed development is extensive and aims to draw a balance over the conservation of significant built elements and landscaping while providing a critical mass of new accommodation to allow the development to be financially viable.

The site is large but the significant landscape components cover a very large area and effectively sanitise these areas as they provide the primary setting to the original and early buildings.

The manager's cottage is of high significance and retention of this and its garden areas compresses development areas to the south and west where there has been greater disturbance and its landscaping largely relates to secondary elevations.

The development proposals have been developed from the earliest stages in the light of the CMP. As can be seen below, the design has responded positively in many regards but is at odds with the CMP in some areas and these variances are discussed below.

## 9.2 HERITAGE ISSUES

The major issue is whether the site is appropriate for aged care development in the manner proposed and the proposals have been assessed in heritage terms under the following considerations:

- Use
- Excavation and Archaeology
- Demolitions
- Rebuilding
- Adaptive reuse
- New Buildings
- Setbacks
- Views
- Form
- Massing and Scale
- Height
- Curtilage and Setting
- Materials
- Site Works
- Landscaping

The former Ritz Hotel has been identified as a place of high cultural significance and one that should be conserved. Conservation of the place should be carried out in accordance with the guidelines contained in the ICOMOS *Burra Charter 2013* and the conservation guidelines in the CMP where practical.

### 9.2.1 Use

The site has been used for buildings linked to the provision of aged care since 1970 (i.e. fifty years) and the place is very unlikely to revert to its former use as a hotel. The hotel operation had effectively failed by the time of the sale in 1970 as there were no offers for it as an ongoing concern.

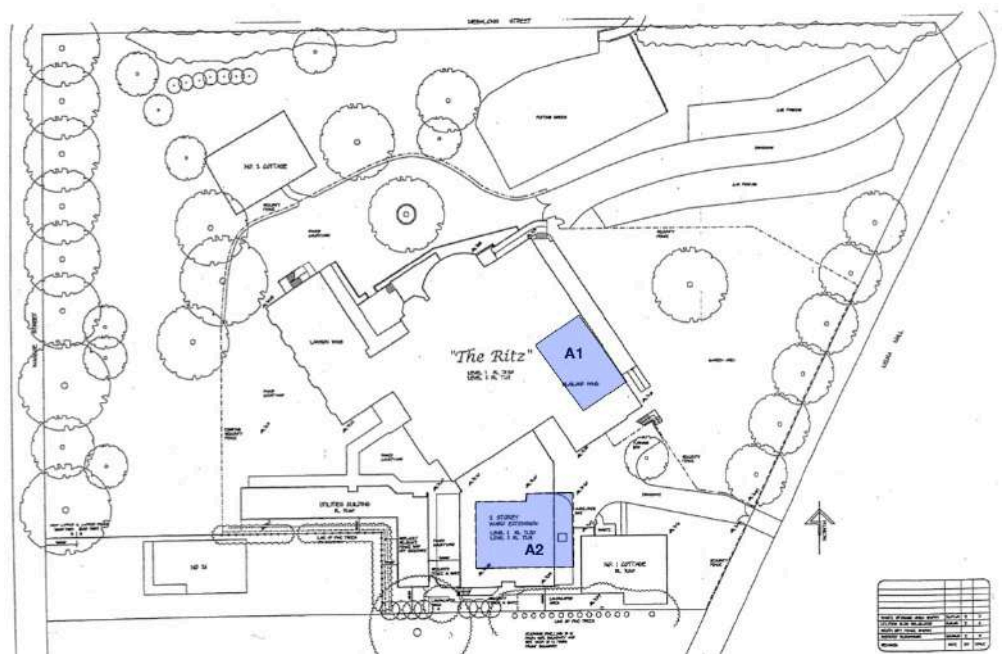
The buildings have already been converted to nursing care and there is less of a concern about the proposed use resulting in appropriate changes. The change of use to residential aged care in the proposed works may allow for the reinstatement (or uncovering) of some original detail particularly in the original hotel.

We consider that the ongoing use of the site for aged care and the adaptive reuse of the retained heritage buildings are complementary to its original use particularly as it will retain the important heritage components on the site and a large portion of its landscaping.

9.2.2 Excavation and Archaeology

9.2.2.1 European Archaeology

The development area has some archaeological potential as there were previous buildings in the development area. The archaeological remains in the study area are:



REF	ITEM	DATE	COMMENT
A1	Original kitchen/laundry	1892	The kitchen/laundry was a single storey structure detached from the hotel (see Figures 2.3 and 2.4) extent of development here would likely preclude there being any underground remains
A2	Laundry and Boiler House	?	The detail and date of the laundry/boiler house is not known though it appears on the aerial photograph of 1958 and may date from the 1914 additions

CMP Figure 4.16 Areas of Archaeological Potential

The buildings have been demolished and the level of subsequent development would likely preclude their being any remains. There may also be garden elements and layouts hidden in the overgrown sections of the gardens.

Excavation and site clearance should be the subject of a watching brief and any finds assessed by a suitable qualified archaeologist. If finds are significant then the notification and approvals process outlined in the CMP should be implemented.

A large portion of the site to the south and west of the early buildings will be excavated including under the south and west wings that are to be rebuilt.



Figure 9.1 Extent of excavation

The excavation is close to the retained section of the original hotel and the necessary structural caution should be exercised.

The extent of excavation is largely limited to below the new and rebuilt buildings to allow the garden areas to remain. There is small amount of excavation to the eastern garden but this is the least intact of the garden spaces.

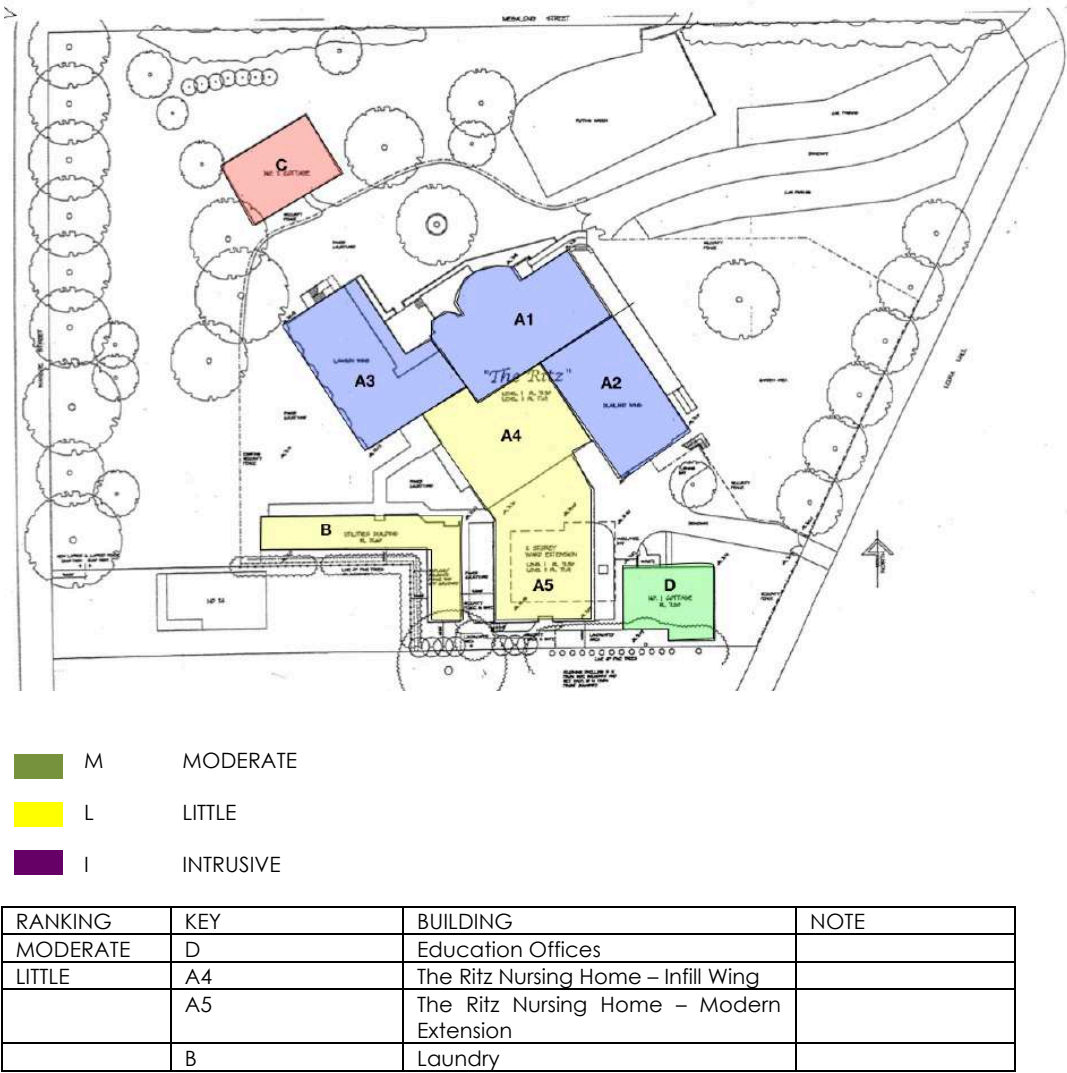
#### 9.2.2.2 Excavation to the South and West Wings

The proposals include for excavation and development under the south and west wings. The heritage issues in regard to this largely relate to the stability of the structures above and this has been assessed in the MMA report using 'top down' or 'bottom up' construction methods.

Both methods are considered feasible with suitable bracing and protection and the interiors above are to be remodelled throughout.

9.2.3 Demolitions - Buildings

The assessment in CMP identified elements that could be demolished including:



CMP Figure 8.7.1 Buildings that can be demolished

The extent of demolition has been revised to retain the Education Offices, the single storey Edwardian cottage to the south of the site. The cottage was not part of the hotel development but appears to have been purchased to provide staff accommodation. It is a modest and typical example of its type and has been altered. The retention is aimed at providing a scaler link to the residential area to the south and retaining the early streetscape along this section of Leura Mall.

It is also proposed to demolish the brick chimney to the boiler house/laundry. The boiler house/laundry has been demolished. The ABVD report notes:

*This brick chimney is far too high to be supported in any safe manner. It currently does not comply with the masonry nor loading code. Unless a significant steel frame is added around this chimney in order to brace it up, then it can only be considered a hazard. Significant wind or earthquake events will certainly topple this structure. It is strongly recommended that this be removed.*

The chimney is also ranked of Moderate Significance in the CMP, but, contrary to the heritage listing assessment, is not of great height, has no landmark qualities and is not comparable to the chimney at the Carrington Hotel at Katoomba that is a clear, local landmark. The chimney will be demolished to allow for a greater development area and we consider this a reasonable approach.

*Recommendation: Bricks be salvaged for reuse in new walling or in landscaping works.*

#### 9.2.4 Rebuilding of South and West Wings

The proposals have been revised to retain the external form and detail to the south and west wings of the early Hotel.

### 9.3 ADAPTIVE REUSE AND ALTERATIONS

There are two major buildings that are to be conserved and adaptively reused

#### 9.3.1 The 1892 Hotel

The original hotel is of high significance and is an interesting piece of period architecture. It has been altered externally and the Gothic style detailing appears to have been largely removed in 1914. A curved bay was added to the front elevation in the 1930s and the verandah has been infilled at the lower level. The rear elevation was obviously altered by the later additions and internally it is difficult to gauge the external wall here.

The interiors were purpose built for a hotel but were remodelled in the Bloome years to a fine detail but all of this has been removed or covered and the original timber stair has been removed (stored in the undercroft). The original layout is no longer discernible though some walls are original. The interior detail shown on the 1940 photographs has completely disappeared,



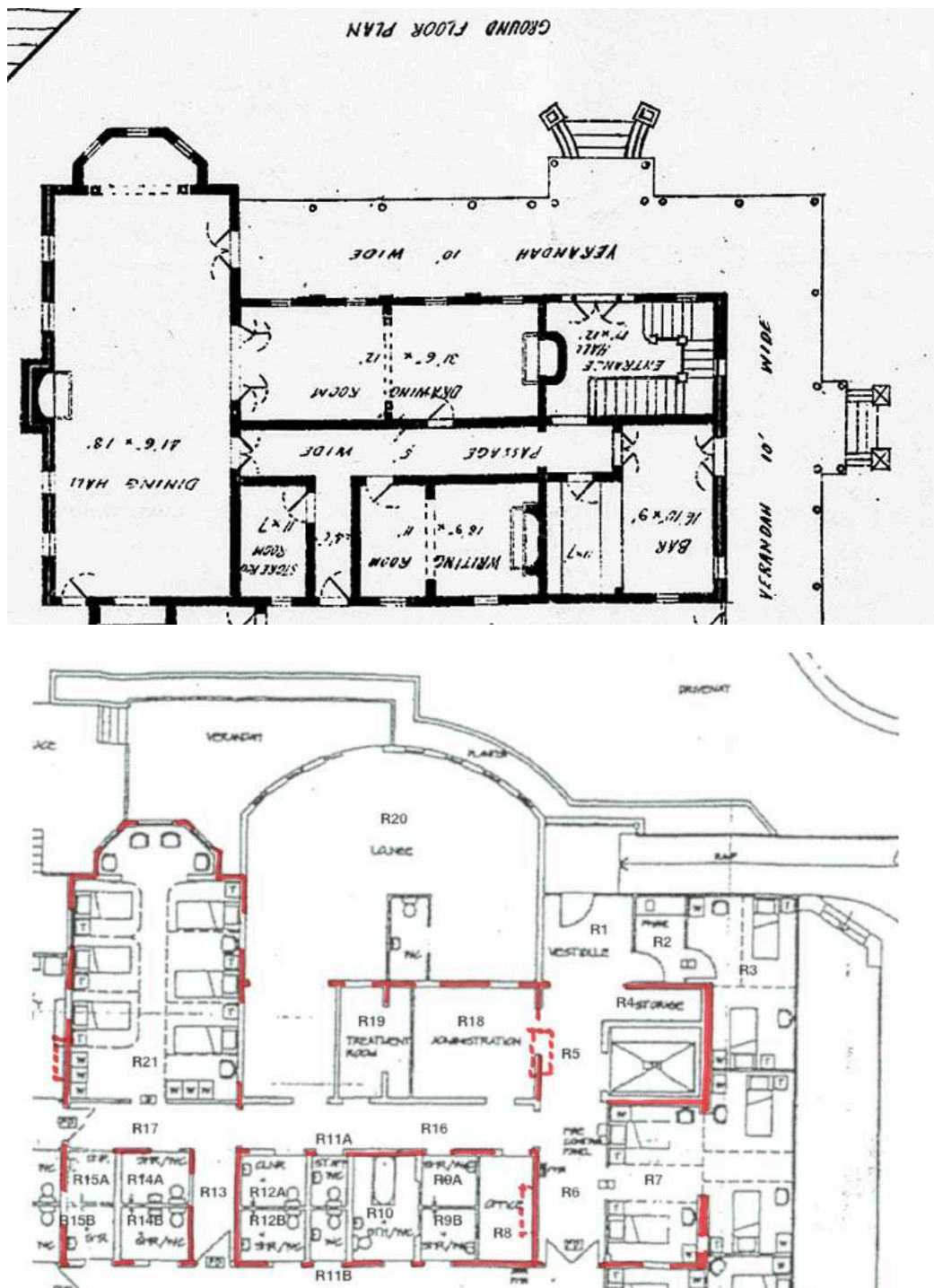


Figure 9.3 Original plan and current ground floor plan showing remnant walls. The eastern verandah retains its cast iron columns from both the original hotel and the southern wing extension.



### 9.3.1.1 Ground Floor

The ground floor will be reconfigured to provide a new entry and common rooms with some bedrooms to the east.

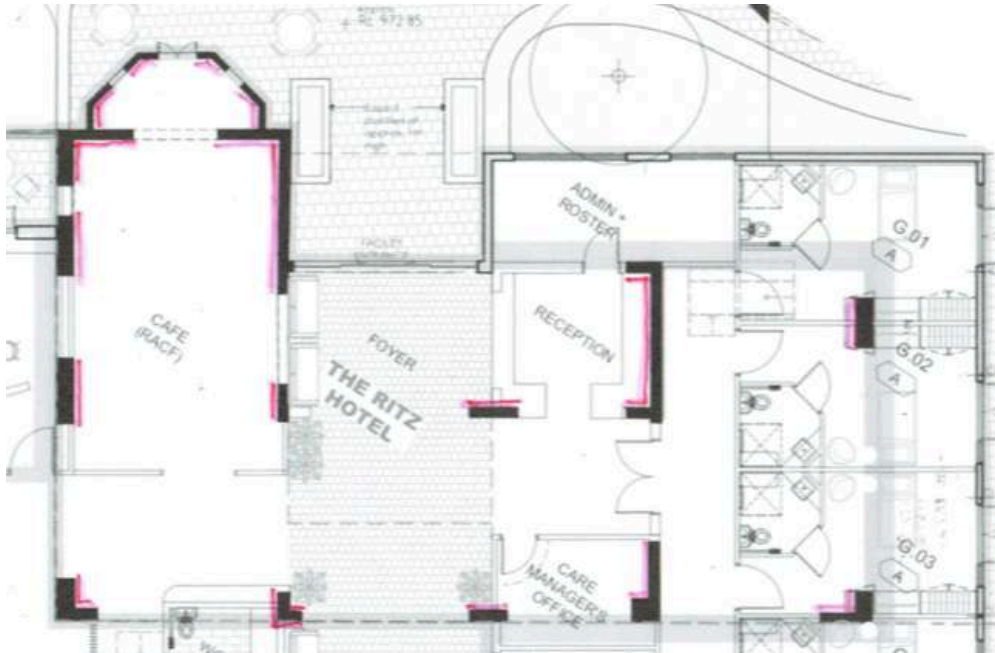


Figure 9.4 Ground floor as proposed showing retained walls

The extent of change could be amended to reflect the current condition and the original layout.

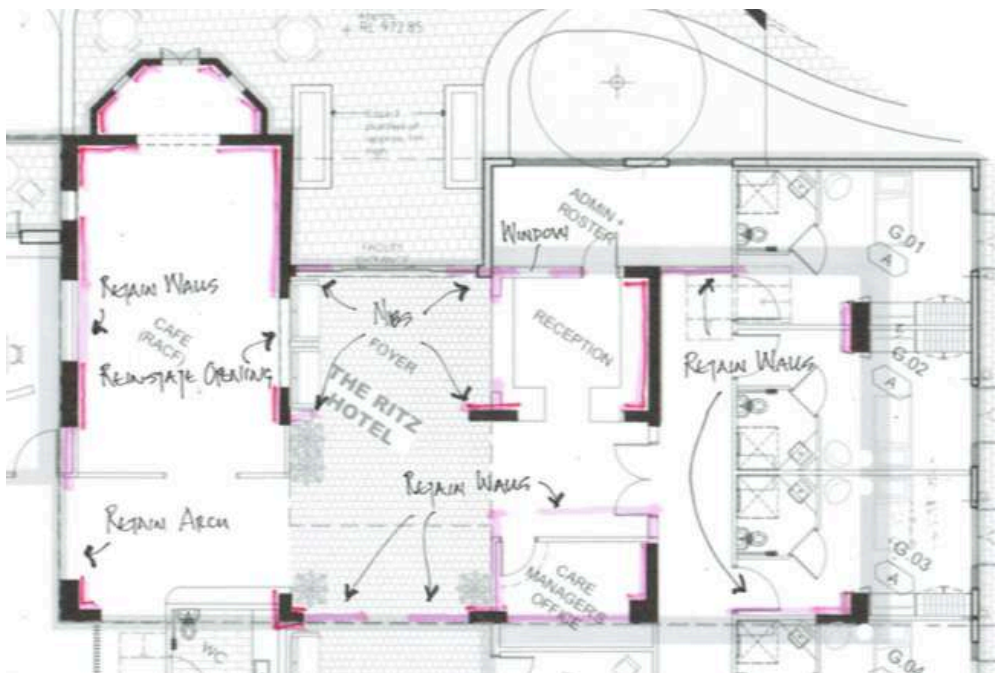


Figure 9.5 Suggested retention

The changes would reflect the original plan with

- Window width openings to the west wall
- Reducing openings to the perimeter walls
- Providing nib walls to signal previous configurations
- Reinstating the arched opening between the café and entry lobby
- Retaining the arched opening to the cafe

The layout has some strong positives:

- The verandah infill will be removed at the entry and the wall line retained to its original location
- The main lounge (café) will be returned to its original size
- The curved bay window will be removed and the secondary lounges returned to their original size

The use of the ground floor area is very reflective of the original layout.

Other changes include replacement French doors to the bay window to the café but the change is minor. The doors should be detailed to reflect the late Victorian style of the original building.

On removal of later wall and ceiling coverings the spaces will be assessed for remnants of early fabric and, where feasible, their conservation.

To the front the modern entry ramp will be relocated to link to a new terrace and steps set on the axis of the building with planters each side. The works will provide a complementary setting to the primary frontage and the stone steps and flank walls reflect the likely original detail.

The infill to the verandah will be retained at the ground floor apart from at the entry and consideration could be given to relocating the administration office to allow greater reinstatement.

The infill to the east reflects the current (and early) layout at the northeast corner and is required to provide adequate room sizes. The cast iron columns to the verandah will be retained with the new infill walls abutting as they do at present.

#### 9.3.1.2 First Floor

The original layout of the first floor is not known but it is likely that the room arrangement to the north is original with the major changes being to the south and east. The layouts do not lend themselves to adaptive reuse as the room sizes generated (if the hall is retained) will be inadequate and the current bathrooms to the south are internal.

The floors will be reconfigured throughout with the focus of the conservation works being on the retention of window openings to the north and the removal of the verandah infill to the northeast corner. The latter will retain the primary elevation to a known state and allow a linkage to the verandah to the east.

There is a new stair to the attic as the current stair is barely an access ladder and the original layout here is not known though the main stair was in the northeast corner and likely continued in some form to the attic.

We consider that the extent of change here is reasonable considering the current level of intactness of the interiors.

### 9.3.1.3 Second Floor/Attic

The second floor is not currently in use as lift and stair access could not be achieved in the 1970 conversion to a nursing home. It is largely intact to its original detail though some of the rear dormers have been removed. There are also later bathrooms and the attic is in a parlous state.

It is intended to convert the attic to storage areas and the majority of the layout will be retained apart from some minor changes to the layout to accommodate the new stair. The lift over run will be removed. The proposals will include repairs to floors walls, ceilings and joinery to allow the area to return to its original state. The dormers windows will be repaired and the Gothic style detailing seen in early images reinstated.

There is a new access door to the roofs to the new addition to the west but this will not be seen from any vantage point.

The works reflect the greater level of intactness of the attic and will allow the early style and detail of the hotel to be retained.

### 9.3.2 Manager's Residence

The manager's residence will be converted to a wellness centre. It is the most significant built element at the site being from the important period of the Bloome's ownership and was built as their home. It is also the most intact of the period buildings and has very well-appointed interiors with high quality finishes and detail. It was built in the same manner as the south and west wing with roughcast render in mesh on a timber frame.

#### 9.3.2.1 Undercroft

The undercroft is a storage area and is quite utilitarian in detail. The undercroft will be excavated throughout to the garden level to provide additional space and reconfigured to provide for a wellness centre, gym bathroom, stair and lift. The internal changes are neutral in heritage terms.

There is a new opening to the south wall that connects to an underground passage to the west wing of the main building but the change will have no visible effect.

There are new openings to the north to the garden but all of the detail here is very crude and the work will partly reuse existing openings.



Figure 9.6 Manager's Residence – north elevation

### 9.3.2.2 Ground Floor

The ground floor will be converted to treatment rooms and a salon within the existing layout with some changes to the former kitchen area (Rooms R11, R12 and R13). The major rooms (R2, R3, R5 and R10) and all of their internal decoration will be retained along with the bathroom and its original tiling and fittings.

The changes are occurring in areas that have been altered and that do not have the ornate detail of the major rooms. The new lift is set central to room R11 and could be better accommodated in the store. The walls and door to the hall could then be retained.

The new stair is in room R13 and we could recommend that the walls (and possible the door) be left in place here as the joinery (with its particular over-sailing architraves) can be retained.

Access to the store (R12) should be retained as per the existing to avoid disturbing the panelling to Room R5.



Figure 9.7 Manager's Residence – Suggested plan

Importantly the verandah infill will be removed allowing this element to return to its original state. And the windows to Room R5 are extant. New doors to the verandah can be detailed as per the multi-paned, glazed entry door in Room R2 or reuse the doors to the north of the verandah that will be removed.

The later balcony to the north will be retained but the infill replaced with a simple metal balustrade. The external stair with its upside down, cast iron supports (likely taken from the verandah of the original hotel) will also be retained with a new handrail.

The cottage requires considerable external maintenance and this will be carried out as part of the work including replacement of the corrugated metal roof.

Overall, the changes to the manager's residence are well considered and will ensure its ongoing use and maintenance,

## 9.4 SOUTH AND WEST WINGS

The external form and detail to the south and west wings to the Hotel will be retained and the external joinery repaired as required. External doors and windows will be reused where possible in their current locations.

The area under both wings will be excavated for new service rooms and accommodation the latter overlooking the sunken central court to the South Wing or the reduced levels to the West Wing.

Internal floor levels will be maintained as these are the same as the original hotel.

The interiors will be reconfigured throughout to form bedrooms and service areas. The rooms require ensuite and accommodating these in the current plan would have led to considerable change. The interiors to the South Wing have been heavily altered but the interior layout to the West Wing is more intact. Considering the use and the need to upgrade the level of amenity and safety for residents (e.g. ensuite, acoustic and fire separation) a considerable degree of change could be expected and the interiors are not of the highest quality in terms of original fabric.

### 9.4.1 South Wing

The south wing has been heavily altered externally and internally. As noted, original external windows and doors will be reused apart from the infill windows to the east wall of the south wing that are modern infills. These will be replaced to suit the new layout with French doors and sidelights.



Figure 9.8 Current infill to the South Wing

The bay windows at the first floor to the internal courtyard will also be reinstated.



### 9.4.2 West Wing

The bay windows to the west wing and doors to the verandah will be retained. The bay windows to the west will be extended downwards to the lower ground floor and the spandrels replaced in timber shingle as per the likely original detail.



Figure 9.9 West elevation to the West Wing showing the bay windows

The change to the lower floor can be signalled by a change of detail to the lower section with perhaps full height windows.

The unsightly external stair to the north will be removed and replaced with a more discrete stair to the ground floor only.

### 9.4.3 Education Office

The Education Office is a single storey, Edwardian house that was purchased by the hotel possible for staff accommodation. It retains its external form and detail but has been altered internally and the interior detail is quite commonplace.

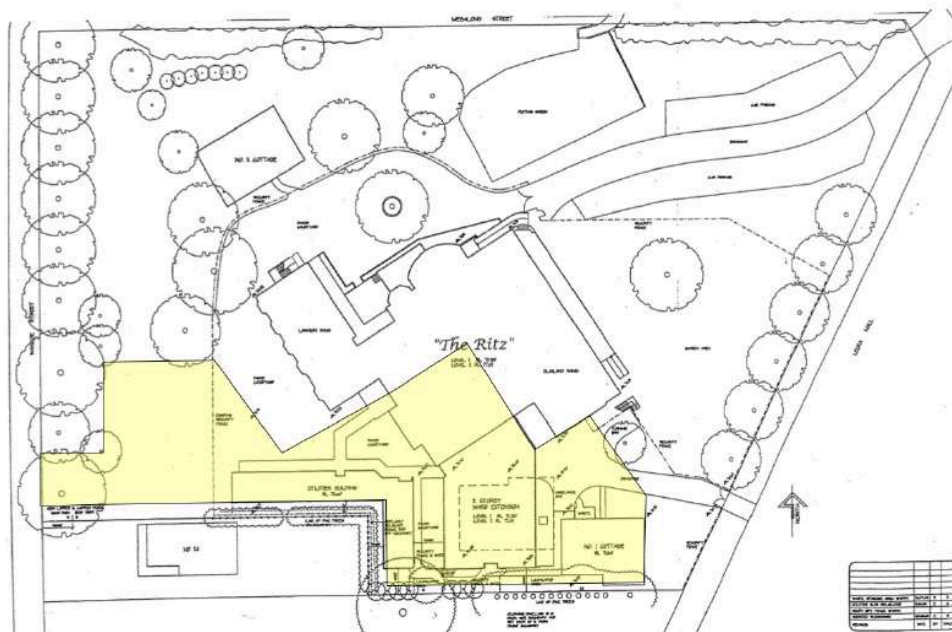
The Education Office, including the rear skillion wing and later side wing, will be retained and adaptively reused as a staff room. The proposals include removal of part of the dividing wall to the southern office, but the change is minor and can be signalled by a downstand beam to retain the ceiling layouts and signal the former arrangement.

The intrusive concrete block wall at the rear will be removed and the cottage repaired as required.

## 9.5 NEW BUILDINGS

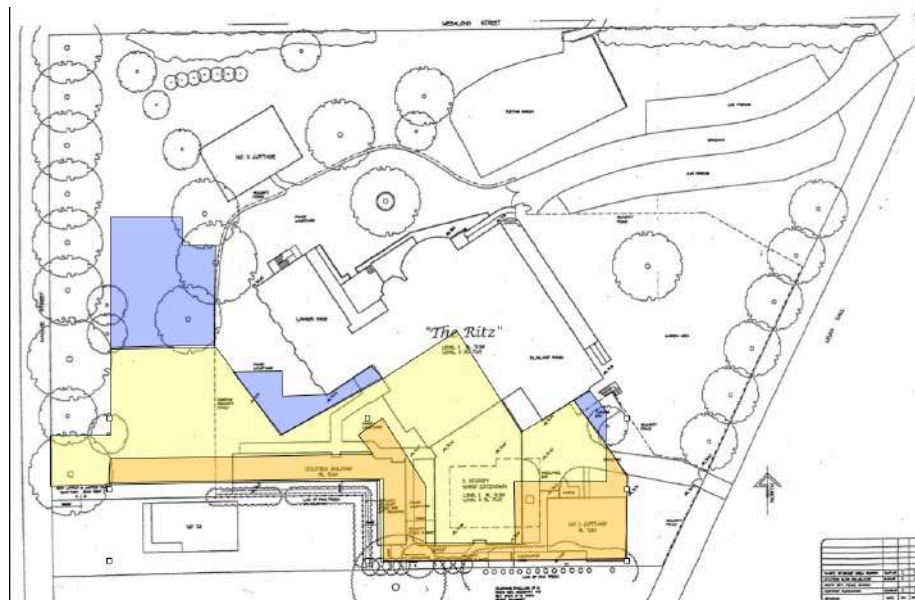
### 9.5.1 Location

The CMP identified areas for new development:



NEW DEVELOPMENT

CMP Figure 8.8.1 Areas for new development



INCREASE IN FOOTPRINT

DECREASE ON FOOTPRINT

Figure 9.10 Proposed Development. The actual built area is similar



The proposals are partly in line with the recommendations but extend the footprints slightly to the east at the rear of the south wing and northwards to the west of the west wing. This is balanced by less development along the southern boundary, in part to provide adequate setbacks and separation to the adjoining residential development to the south. There is also a central courtyard to the south wing that will allow this to be read in the round.

As discussed above, a large portion of the site has been set aside for the gardens to maintain the setting of the place and signal its former use and we consider that the proposals strike a reasonable balance of development over retention of gardens and will not overly impact on significant views or overwhelm the retained and rebuilt structures.

The Education Office has been retained reducing the available area for development.

The western building will cover part of the early tennis court but some loss of garden elements could be expected in any development of the site and the focus of the garden retention has been to the east and north and around the Manager's Residence.

#### 9.5.2 Setbacks

Apart from the areas noted above, the proposal follows the setback set out in the CMP. There are greater setbacks to the south to allow for landscaping, screen planting and central section is angled to the boundary with courts and landscaping to the south to reduce the impact of the development on the adjoining conservation area.

The eastern addition is set close to the alignment of the southern wing to the hotel but is separated by a deep inset and stair. The east facing wall has been angled to be setback from the frontage to the retained Education Office that will allow the corner of the south wing to remain evident and the cottage frontage to be proud of the new walls. The southern elevation of the south wing has been heavily altered and has none of the character of the other elevations.



Figure 9.11 South elevation to the south wing



Figure 9.12 Proposed elevation to the extension with the southern wing to the right

The western addition is set back from the west elevation to the west wing of the hotel with a landscaped court between. The addition is set back from Manager's Residence and there is extensive landscaping between to maintain its setting. The cottage faces north and east and there are no significant views from western dining room and no garden areas or terraces to this side.

### 9.5.3 Views

#### 9.5.3.1 Leura Mall

As discussed, the eastern elevation of the southern addition is close to the alignment of the south wing of the hotel but will have little impact on views.

The revised design has a narrow, angled frontage close to the south wing and the remainder is set behind the retained Education Office that provides a scaler link to the residential development to the south. The setback to the cottage frontage will retain the relationship between it and the south wing.



VIEW LOOKING NORTH



VIEW LOOKING WEST



CLOSE VIEW LOOKING NORTH

Figure 9.13 The southern wing from Leura Mall



### 9.5.3.2 Megalong Street

Megalong Street is set well below the site and there are limited views to the current buildings due to the high perimeter plantings and embankment. To the west, there are very limited views to the west wing of the hotel due to the extent of tree cover and plantings and the northern section of the new building will not block views to any of the visible heritage components.



VIEW LOOKING WEST



VIEW TO THE HOTEL



VIEW LOOKING SOUTH ALONG WASCOE STREET

Figure 9.14 Views from Megalong Street

### 9.5.3.3 Wascoe Street

There are also limited views from Wascoe Street. The western addition will be seen in views though the perimeter trees but the current views to the west wing of the hotel are very occluded.



VIEW LOOKING NORTH



VIEW LOOKING NORTHEAST



VIEW LOOKING EAST

To the right is the west wing and to the left the view to the manager's cottage

Figure 9.15 Views from Wascoe Street

#### 9.5.4 Internal Views

Internal views are less of an issue though the additions will be seen to the south of the south wing and to the west of the east wing. The placement and height of the additions has been well controlled to ensure that these remain recessive and do not overwhelm the original hotel buildings.

#### 9.5.5 Form and Scale

The proposal adopts the form of linked buildings set around the southern and western quadrants of the site. The additions are to a similar form and scale and are articulated in layout to provide courtyards or links between each section and the retained and rebuilt heritage components.

The site is large but its major heritage components (the original and early hotel buildings and the extensive gardens) cover well over half of the site and limit development to the east and north. A cleared site would allow a lower scale development across its whole and the proposals seek to conserve the heritage components and gardens and provide adequate separation with new buildings to the south and west to compensate for the loss of built volume resulting from the heritage constraints.

A comparison (on a larger scale) is with the development of the CUB brewery close to Central Station where the introduction laneway and parks and the retention of heritage buildings has led to a variety of heights to the development to achieve floor space while creating a lively and popular residential, commercial and retail precinct.

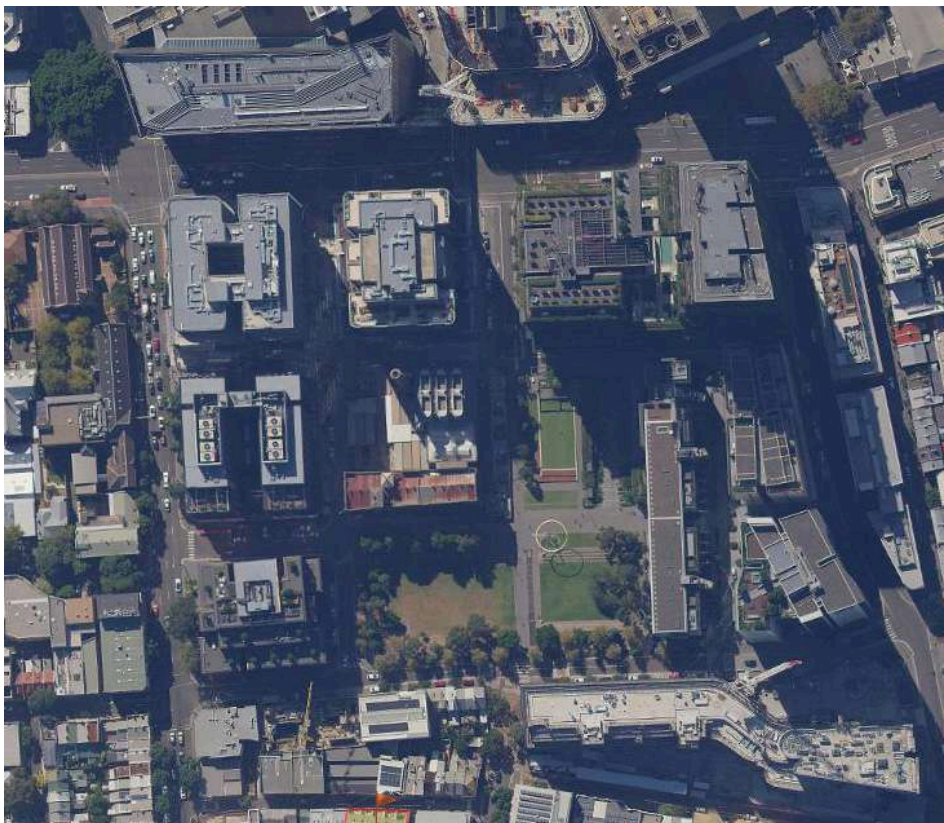


Figure 9.16 The CUB development at Haymarket



The aged development requires a critical mass of accommodation to be a feasible development and the provision of buildings to the south and west:

- Allows the retention of the heritage buildings on the site
- Allows the retention of the heritage gardens and features to the east and north
- Limits the footprint of the new buildings
- Allows setbacks between the new buildings and the built heritage components to limit their visual impact

#### 9.5.6 Massing

The buildings are arranged as linked elements to a similar scale to the south and west of the site but the plans are well articulated to provide adequate distinction between each section and reduce the massing of the proposal overall. The western wing is the longest, visible wing and is broken into three sections with deep indents to the centre and at the southwest corner of the building.

The amendment of the upper floor to a mansard type detail has reduced the lower elevations to two storey when viewed from the street

The southern sections have relatively narrow frontages to the south divided with open courts and landscaping.

#### 9.5.7 Height

The height of the new buildings varies but is set consistently set close the eave height of the south and west wings and considerably lower than the ridge height of the main heritage buildings. The western addition is higher than the roof of the manager's residence but is set back from it and the cottage is set low to the site and will have extensive landscaping around to maintain a residential, garden setting. The northern section of the new west wing is lower than the reminder to limit its impact on the Manager's Residence and views to the rebuilt, west wing.

The amendment of the upper floor to a mansard type detail has reduced the lower elevations to two storey when viewed from the street

The heritage components are close together and their placement to the centre of the site with extensive gardens to the east and north means they will continue to read as a group set in landscaped gardens. The additions are set well back from the entry drive and this important, visual sequence will be maintained.

There are linkages between the heritage building and the new development as this is required for the safe and effective operation of the facility, but the heritage buildings will continue to read as stand-alone components in major views both from outside and inside of the site.

#### 9.5.8 Curtilage and Setting

The overall curtilage of the site is its original lot boundaries that were established when the site was first developed for the Hotel (with a small additional site to the south). These will not be affected by the development.

The site has seen considerable change and development with a gradual expansion of the hotel and later, the nursing home facilities. The development follows the CMP principles of retaining gardens to the east and north and around the manager's residence.



The southern section of the site and part of the western section provides a secondary setting to the heritage components and has an ungainly collection of buildings. The only site feature of note here is the former tennis court. This is set low to the site and well below the drive to the west of the west wing and does not provide an immediate setting to the wing. The former tennis court will be partly removed but is a reasonable trade-off for maintaining the main gardens.

We consider that the setbacks and scaler treatment to the development will not overly impact on the setting of the heritage buildings and gardens and, from Leura Mall and the main entry drive, the visual strength of these components will not be overwhelmed by the new development beyond.

The retention of the Education Office provides an easy transition to the residential development to the south of the site and retains this component when viewed from Leura Mall.

#### 9.5.9 Style and Materials

The design is contemporary as there are few design cues from the heritage buildings but the design adopts simple, mansard roof forms with a regular pattern of windows in the manner of the period buildings on the site. The selection of materials is as could be expected of a contemporary development on the site and the current buildings provide few design cues as to the treatment of new buildings.

The use of render and weatherboard to the lower levels of the new buildings will provide a scaler detail to the facades that are broken into sections with piers, spandrels and projecting window bays. This is amplified by the use of shingle to the mansard roofs.

The use of a mansard roof in contrasting, small scale shingles to the upper floor will reduce the apparent bulk of the additions. The new development has its own, contemporary language and forms and the material selection reflects this.

#### 9.5.10 Site Works

The proposals include some site works.

The site requires service access for supply vehicles and to the underground car park. This is sensibly set off Wascoe Street where the levels allow ease of access to the basements. The drive will be excavated into the embankment with a recessed door and stone flank walls in the manner of the ironstone walls that can be seen on the adjoining embankments. The access drive is well considered and will not impact on the significant trees along the western edge of the site.

Associated with the drive is a new electricity substation that is required for this scale of development that will also be set in an ironstone surround to tie into the detail of the drive.

The main drive will be repaved in bitumen with a brick edging as per the current drive. Other pathways and sitting areas will be in exposed aggregate concrete, brick and stone, all low-key materials. The extent of hard paving has been well controlled to ensure that the landscaping and trees are the dominant visual elements.

The informal parking areas each side will be removed to allow the drive to be set to its early width and the areas re-landscaped. The change will reinforce the entry sequence and return the arrangement to an earlier detail.

The works include the reinstatement of a turning circle at the entrance to the hotel building with a central water feature and plantings to reflect the likely original layout. There is a second turning circle close to the entrance on the drive but this will not overly distort the entry sequence to the site.

The garden structure to the East Garden is a small, timber structure and is an element that could have been expected in the early hotel.

The ramp from the bus shelter to the site will be removed and this area re-landscaped. The ramp is a later, rather intrusive element and its removal is a positive in heritage terms.

The site will be fenced for security and safety of residents. Fencing to heritage sites is always a vexed issue and solid fences prevent surveillance and provide a sense of enclosure that was never a feature of the subject site. Early photographs show open picket fences to Leura Mall but the height would not suit the required security level. The new metal fence is largely around the perimeter of the site and along the top of the embankments to Megalong Street and Wascoe Street and will allow views into the site.

Much of the fencing will be hidden in plantings but some of the metal fencing will be visible from the footpath along Leura Mall and a timber fence is proposed at the main entrance to reflect the original detail. The fence is set back from the corner entrance to Leura Mall to reduce its visual impact and allow public access to this section of the site where views to the heritage buildings are available.



Figure 9.17 Proposed Fencing at the entry from Leura Mall

## 9.6 LANDSCAPING

### 9.6.1 Tree Removal

There is some removal of trees to all sections of the site, some removed as they are in poor condition or dead (see Arboricultural report) to allow for the new landscaping. The trees to be removed are identified on drawing L101 with a schedule that includes the reasoning for removal.

The Monterey pines that strongly define the site define will only be removed where in very poor health or where strictly necessary to accommodate the new works. Over 90 trees will be retained.

The removal of trees will be balanced by the planting of new trees throughout the site including mass plantings along the southern boundary.

### 9.6.2 Drive

The drive from Leura Mall will be retained maintaining the important and historic entry sequence to the site.

### 9.6.3 East Garden

The East Garden is of High Significance and will be retained with new landscaping and pathways. The works will maintain an important aspect of the building and its presentation to Leura Mall. The pathways reflect the original intention to provide recreational area for guests.

### 9.6.4 North Garden

The North Garden is of High Significance and will be retained with new landscaping, pathways and seating area. A portion of the former croquet court will be retained to allow interpretation of this element.

The works will maintain an important aspect of the building and its presentation to the north.

### 9.6.5 Manager's Residence

The garden to the manager's residence will be retained to maintain a residential style garden setting to the cottage but with new paving to allow for seating and walkways and a new entry point to the house. The house is effectively hidden from the former Hotel by high plantings and the works will allow a better visual appreciation of the relationship two most important elements. The stone walls to the east will also be maintained.

### 9.6.6 West Garden

The west garden is largely occupied by the former tennis courts and will be partly relaced with built form with a portion of the tennis lawn area retained at the north. The site levels will be adjusted to suit the new building but much of the area is quite moribund and taken up with ancillary structures and a drive. The drive will become an accessway to the western buildings. The embankment to Wascoe Street will be largely retained apart from at the new car park entry.

### 9.6.7 Southern Boundary

The southern boundary will be replanted with trees to provide visual protection to the adjoining properties and clearly define the visual curtilage of the site.

### 9.6.8 Embankments

The embankments to Megalong Street and Wascoe Street will be retained with remnant stone wall stabilised and the embankments planted to stabilise the banks. The works will maintain the street appearance of the site.

The new entry drive to Wascoe Street is very sensibly located and will allow vehicle access to the underground car park obviating the need for access from the more important aspects to Laura Mall.

## 9.6.9 Landscape

### 9.6.9.1 Generally

The following assessment has been prepared by Colleen Morris who has been involved with the development of the landscape proposals.

**The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:**

The principal aspects of significance within the site are mature healthy trees and shrubs and the spatial integrity of areas where the past use can still be understood. The site's landscape has been neglected over a long period of time and this proposal balances respect for the management of the most important aspects of the site with the accessibility for aged care residents and their visitors. It should be noted that on inspection there were few areas of the grounds accessible to the residents during the The Ritz's previous use as a nursing home, opened in 1970.

The proposed treatment of the streetscape and main entrance area is of a low impact with the retention of trees with a reasonable life expectancy and the removal of senescent trees and tree pruning for tree health and aesthetic reasons. The stabilisation and enhancement through planting of the long Megalong Street boundary is also of low impact.

The spatial aspect of the former croquet lawn (L5) is respected but new paving and sitting areas will enable residents to access this space. Likewise, the former tennis court area (L9) can be interpreted in the proposal and will be transformed to a useable space.

The landscape proposal for the turning circle (L7) is to echo the 1914 description of The Ritz and reinstate a water feature in front of the main entrance. The proposed design also identifies a sight line through the site that has been lost over time.

The proposed design of eastern residents garden (L3) retains an elm and provides a circuit walk of paths which is sympathetic to the current layout and late 19<sup>th</sup> and early 20<sup>th</sup> century gardens which often included paths that enabled a circuit of the garden. The proposed design will considerably enhance this area with species that are in keeping with the tradition of Blue Mountains gardens.

Dry stone walls, ranked as High significance, are to be retained and repaired where possible.

**The following sympathetic solutions have been considered and discounted for the following reasons:**

*How has the impact of the new work on the heritage significance of the existing landscape been minimised?*

The site is neglected and degraded and new work has been designed to respect and adapt the most significant aspects of the site, while new work will reinvigorate the landscape and provide a sympathetic new layer to the established framework.

*Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated?*

The Ritz Landscape Study has informed the design proposal.

*Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented?*

Yes – Landscape Heritage consultant Colleen Morris was consulted throughout the design process.

*How does the work impact on views to, and from, adjacent heritage items?*

Key views and vistas to and from the site have been retained and respected in the proposal.

#### 9.6.9.2 Education Office

The Education Office will be retained, the garden path adjusted and the garden planted as a cottage garden including Camellia, Hydrangea and Rhododendron sp. Existing plantings will be retained where possible.

Subject to security, we would recommend that the street fencing here be in the form of a timber picket.

## 10.0 ASSESSMENT AGAINST THE CONSERVATION GUIDELINES

### 10.1 PREAMBLE

Section 8.0 of the CMP contained conservation guidelines for the conservation of the place for:

- Archaeology of the place
- Use of the place
- Treatment of the fabric
- Removal of fabric
- Restoration and Reconstruction
- Adaptation of significant fabric
- Additions and new buildings at the place
- Setting, landscape and views
- Signage and Lighting
- Interpretation of the place
- Movable heritage
- Conservation procedures
- Adoption and review of conservation procedures

The proposals are assessed against the guidelines below with comments highlighted in red. The assessment refers to figures in the CMP.

### 10.2 DEFINITION OF THE PLACE

The area is defined by the current site boundaries, though this has slightly altered over time with the purchase of the cottage to the south of the site.

Policy A1      *Define the extent of the place is as shown on Figure 8.2.1*



CMP Figure 8.2.1    Definition of the Place

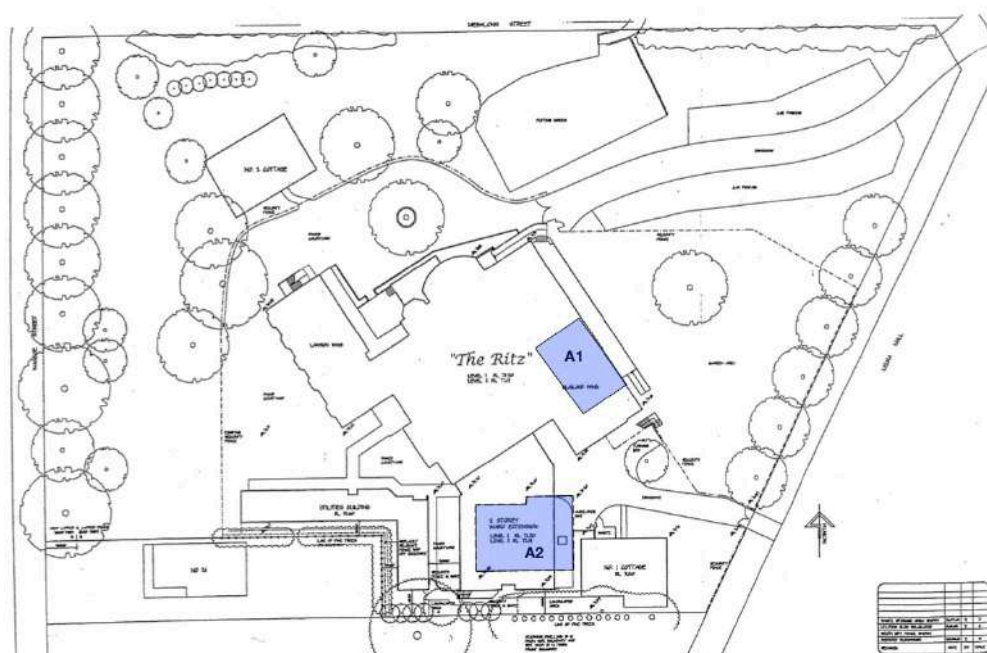
Assessment: No change



### 10.3 ARCHAEOLOGY

The archaeological potential of the site is low due the level of subsequent development.

**Policy A2** *Treat the place as having some archaeological potential in line with figure 8.3.1. Monitor all excavations for evidence of previous structures and configurations and landscape layouts and allow the assessment of any finds by a suitably qualified archaeologist*



REF	ITEM	DATE	COMMENT
A1	Original kitchen/laundry	1892	The kitchen/laundry was a single storey structure detached from the hotel (see Figures 2.3 and 2.4) and the extent of later development here would likely preclude there being any underground remains
A2	Laundry and Boiler House	?	The detail and date of the laundry/boiler house is not known though its appears on the aerial photograph of 1958 and may date from the 1914 additions

CMP Figure 8.3.1 Areas of Archaeological Potential

**Assessment:** Excavation should be the subject of archaeological monitoring and any finds be assessed by a suitably qualified archaeologist.



#### 10.4 GUIDELINES FOR THE USE OF THE PLACE

##### Historic Use

*Policy A3 Allow the use of the place for its historic use as a hotel*

**Assessment:** The place is unlikely to revert to a hotel use due to the level of later changes.

##### Compatible Use

*Policy A4 Allow for compatible use that maintains the cultural significance of the place with limited change to significant fabric:*

- Aged Care
- Education Facility
- Commercial Offices

**Assessment:** Complies.

##### 10.4.1 Management of Use

*Policy A5 Manage the use of the place to maintain the cultural significance of the place and allow its interpretation as noted in section 8.11*

**Assessment:** Capable of compliance.

##### 10.4.2 Incompatible Use

*Policy A6 Restrict incompatible uses that diminish the cultural significance of the site or require the removal or substantial alteration of significant fabric and landscape elements*

**N/A**

## 10.5 TREATMENT OF THE FABRIC

### 10.5.1 The Ritz – Significant Building

*Policy A7 Define significant buildings as shown in Figure 6.1*

### 10.5.2 The Ritz - Significant Spaces and Fabric

*Policy A8 Define significant spaces fabric as shown in Figures 6.2 to 6.6*

### 10.5.3 Manager's Residence

*Policy A9 Define significant spaces fabric as shown in Figures 6.7*

### 10.5.4 Education Centre

*Policy A10 Define significant spaces fabric as shown on Figures 6.8*

### 10.5.5 Fabric to be Conserved

*Policy A11 Conserve the following:*

#### *The Ritz*

- All fabric introduced from 1892 till 1970
- All fabric introduced after 1970 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guidelines

#### *Except:*

- Where the fabric is clearly of a temporary nature

*Assessment: Partly Complies. The external form and detail to south and west wings will be retained. The interiors will be remodeled with early fabric salvaged for reuse in the new layouts.*

#### *Manager's Residence*

- All fabric introduced in 1915
- All fabric introduced after 1915 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guidelines

#### *Except:*

- Where the fabric is clearly of a temporary nature

*Assessment: Largely complies. Changes are limited to the undercroft and well-planned changes to the ground floor that will retain original layouts and detail.*

## Education Centre

- All fabric introduced in 1910
- All fabric introduced after 1910 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guidelines

Except:

- Where the fabric is clearly of a temporary nature

**Assessment:** The Education Centre will be retained and adaptively reused with limited change.

## 10.5.6 Fabric to be Maintained

Policy A12 Maintain the following:

## The Ritz

- All significant fabric
- All fabric introduced after 1970 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guideline

## Manager's Cottage

- All significant fabric
- All fabric introduced after 1915 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guideline

## Education Centre

- All significant fabric
- All fabric introduced after 1915 for the preservation and reconstruction of the place
- All fabric restored or reconstructed in the future in accordance with these guideline

**Assessment:** See above.

## 10.5.7 Fabric that may be Removed

Policy A13 The following fabric may be removed (this may include paint finishes and temporary coverings)

## The Ritz

- All fabric introduced after 1970 except where it is identified as significant fabric

**Assessment:** Complies. The removal of some later coverings may reveal earlier finishes and detail that will be incorporated in the works where feasible.

## Manager's Cottage

- All fabric introduced after 1915 except where it is identified as significant fabric (e.g. the bathroom)

**Assessment:** Complies.

*Education Centre*

- *All fabric introduced after 1915 except where it is identified as significant fabric*

*Assessment: The Education Centre will be retained and adaptively reused with limited change.*

## 10.5.8 Fabric that may be Demolished

*Policy A14 The following fabric may be demolished:*

*The Ritz*

- *All fabric introduced after 1970 except where it is identified as significant fabric*
- *Significant fabric where it is only a remnant of a previous configuration or detail*

*Assessment: Complies. The south wing has only remnants of previous layouts and detail.*

*Manager's Residence*

- *All fabric introduced after 1915 except where it is identified as significant fabric*
- *Significant fabric where it is only a remnant of a previous configuration or detail*

*Assessment: Complies*

*Education Centre*

- *All fabric introduced after 1910 except where it is identified as significant fabric*
- *Significant fabric where it is only a remnant of a previous configuration or detail*

*Assessment: The Education Centre will be retained and adaptively reused with limited change.*

## 10.5.9 Restoration and Reconstruction

*Policy A15 Allow the restoration or reconstruction of significant fabric that has been removed or altered and in particular:*

*The Ritz*

- *Original, ground and first floor verandah*
- *Living room door to the verandah*
- *Internal room layouts*
- *Internal and external joinery*
- *Original stair*

*Assessment: Partly complies*

*Manager's Cottage*

- *Verandah*
- *North windows*
- *Kitchen walls*

*Assessment: Partly complies*

## 10.6 ADAPTATION OF SIGNIFICANT FABRIC

### 10.6.1 Interior Spaces and Fabric – The Ritz

Policy A16 Allow the adaptation of interior spaces and features:

Ranking	Guideline
Exceptional	<p>Preserve and conserve all significant fabric introduced prior to 1970</p> <p>Fabric constructed post 1970 may be altered or removed unless it is identified as significant fabric</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p> <p>New partitions not appropriate</p>
High	<p>Preserve and conserve all significant fabric introduced prior to 1970</p> <p>Fabric constructed post 1970 may be altered or removed unless it is identified as significant fabric</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p> <p>New partitions not appropriate</p> <p>Discrete opening allowed to enlarge or connect rooms</p> <p>Significant fabric where it remains only a remnant of a previous configuration or detail can be removed</p>
Moderate	<p>Preserve and conserve all significant fabric introduced prior to 1970</p> <p>Fabric constructed post 1970 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Minor sympathetic alterations appropriate</p> <p>Minor permanent structural alterations appropriate</p> <p>Covering of significant finishes by reversible construction appropriate</p>
Little	<p>Preserve and conserve all significant fabric introduced prior to 1970</p> <p>Fabric constructed post 1970 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Sympathetic alterations appropriate</p> <p>Remodelling/alterations and additions appropriate provided some significant fabric or evidence of original room configuration is maintained</p> <p>Permanent structural alterations appropriate</p> <p>Covering of finishes appropriate</p>
Intrusive	Allow the removal of intrusive fabric

Assessment: Largely complies.

## 10.6.2 Adaptation of Exteriors – The Ritz

Policy A17 Allow the adaptation of the exteriors as follows:

Ranking	Guideline
Exceptions	Preserve and conserve all significant fabric introduced prior to 1970 Fabric constructed post 1970 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
High	Preserve and conserve all significant fabric introduced prior to 1970 Fabric constructed post 1970 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
Moderate	Preserve and conserve all significant fabric introduced prior to 1970 Fabric constructed post 1970 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Minor sympathetic alterations appropriate Minor permanent structural alterations appropriate
Little	Preserve and conserve all significant fabric introduced prior to 1970 Fabric constructed post 1970 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Sympathetic alterations appropriate Remodelling/alterations and additions appropriate provided some significant fabric is maintained Permanent structural alterations appropriate Covering of significant finishes appropriate
Intrusive	Allow the removal of intrusive fabric

Assessment: Largely complies. The works include the removal of the of part the verandah infill at the ground and first floors and the removal of the curved addition to the front returning the building to a known, original state,



### 10.6.3 Interior Spaces and Fabric – Manager's Residence

Policy A18 Allow the adaptation of interior spaces and features:

Ranking	Guideline
Exceptions	<p>Preserve and conserve all significant fabric introduced in 1915</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p>
High	<p>Preserve and conserve all significant fabric introduced in 1915</p> <p>Fabric constructed post 1915 may be altered or removed unless it is identified as significant fabric</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p> <p>New partitions not appropriate</p> <p>Discrete opening allowed to enlarge or connect rooms</p> <p>Significant fabric where it remains only a remnant of a previous configuration or detail can be removed</p>
Moderate	<p>Preserve and conserve all significant fabric introduced in 1915</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Minor sympathetic alterations appropriate</p> <p>Minor permanent structural alterations appropriate</p> <p>Covering of significant finishes by reversible construction appropriate</p>
Little	<p>Preserve and conserve all significant fabric introduced in 1915</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Sympathetic alterations appropriate</p> <p>Remodelling/alterations and additions appropriate provided some significant fabric or evidence of original room configuration is maintained</p> <p>Permanent structural alterations appropriate</p> <p>Covering of significant finishes appropriate</p>
Intrusive	Allow the removal of intrusive fabric

Assessment: Largely complies.

#### 10.6.4 Adaptation of Exteriors – Manager's Residence

Policy A19 Allow the adaptation of the exteriors as follows:

Ranking	Guideline
Exceptional	Preserve and conserve all significant fabric introduced in 1915 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
High	Preserve and conserve all significant fabric introduced in 1915 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
Moderate	Preserve and conserve all significant fabric introduced in 1915 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Minor sympathetic alterations appropriate Minor permanent structural alterations appropriate
Little	Preserve and conserve all significant fabric introduced in 1915 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Sympathetic alterations appropriate Remodelling/alterations and additions appropriate provided some significant fabric is maintained Permanent structural alterations appropriate Covering of significant finishes appropriate
Intrusive	Allow the removal of intrusive fabric

Assessment: Largely complies.

## 10.6.5 Interior Spaces and Fabric – Education Centre

Policy A20 Allow the adaptation of interior spaces and features:

Ranking	Guideline
Exceptions	<p>Preserve and conserve all significant fabric introduced in 1910</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p>
High	<p>Preserve and conserve all significant fabric introduced in 1910</p> <p>Fabric constructed post 1915 may be altered or removed unless it is identified as significant fabric</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>Replacement of significant finishes (other than paints, varnishes etc.) not appropriate</p> <p>New partitions not appropriate</p> <p>Discrete opening allowed to enlarge or connect rooms</p> <p>Significant fabric where it remains only a remnant of a previous configuration or detail can be removed</p>
Moderate	<p>Preserve and conserve all significant fabric introduced in 1910</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Minor sympathetic alterations appropriate</p> <p>Minor permanent structural alterations appropriate</p> <p>Covering of significant finishes by reversible construction appropriate</p>
Little	<p>Preserve and conserve all significant fabric introduced in 1910</p> <p>Fabric constructed post 1915 may be altered or removed</p> <p>Non significant fabric may be removed to restore/reconstruct earlier configurations</p> <p>New reversible partitions appropriate</p> <p>New reversible fitments appropriate</p> <p>Sympathetic alterations appropriate</p> <p>Remodelling/alterations and additions appropriate provided some significant fabric or evidence of original room configuration is maintained</p> <p>Permanent structural alterations appropriate</p> <p>Covering of significant finishes appropriate</p>
Intrusive	Allow the removal of intrusive fabric

Assessment: The Education Centre will be retained and adaptively reused with limited change.

### 10.6.6 Adaptation of Exteriors – Education Centre

Policy A21 Allow the adaptation of the exteriors as follows:

Ranking	Guideline
Exceptional	Preserve and conserve all significant fabric introduced in 1910 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
High	Preserve and conserve all significant fabric introduced in 1910 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Replacement of significant finishes (other than paints, varnishes etc.) not appropriate
Moderate	Preserve and conserve all significant fabric introduced in 1910 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Minor sympathetic alterations appropriate Minor permanent structural alterations appropriate
Little	Preserve and conserve all significant fabric introduced in 1910 Fabric constructed post 1915 may be altered or removed Non significant fabric may be removed to restore/reconstruct earlier configurations Sympathetic alterations appropriate Remodelling/alterations and additions appropriate provided some significant fabric is maintained Permanent structural alterations appropriate Covering of significant finishes appropriate
Intrusive	Allow the removal of intrusive fabric

Assessment: The Education Centre will be retained and adaptively reused with limited change.

### 10.6.7 Adaptation for Fire, Disabled Access and other Statutory Requirements

Policy A22 Allow adaptation of significant fabric in order to comply with fire safety and other statutory requirements but only after investigation of alternatives to determine design and construction strategies that minimize damage to significant fabric. Carry out alterations in areas and spaces of lower significance in preference to those of higher significance

Assessment: Capable of compliance.

#### 10.6.8 Adaptation for Installation of New or Replacement Services and Fittings

*All of the buildings have reasonably modern services and fittings. The installation of any new fittings or services should allow for the retention of original fabric by overboarding original finishes rather than replacing them.*

**Policy A23**      *Allow adaptation of significant fabric to allow the installation of new or replacement services provided that:*

- They are installed in areas and spaces of lower significance in preference to those of higher significance*
- They are designed and constructed in a manner that causes minimum damage to significant fabric and are removable without further damage to significant fabric*
- They do not result in the removal of significant fabric*
- The work is planned and carried out with regard to the potential underground archaeology of the place*

**Assessment:** Capable of compliance.

#### 10.6.9 Identification of Adaptation

**Policy A24**      *Identify by method and style of construction all adaptations introduced pursuant of these guidelines*

**Assessment:** Capable of compliance.

10.7 DEMOLITIONS

Policy A25 Allow the demolition buildings and structures identified as being of LITTLE significance or INTRUSIVE shown in Figure 8.7.1

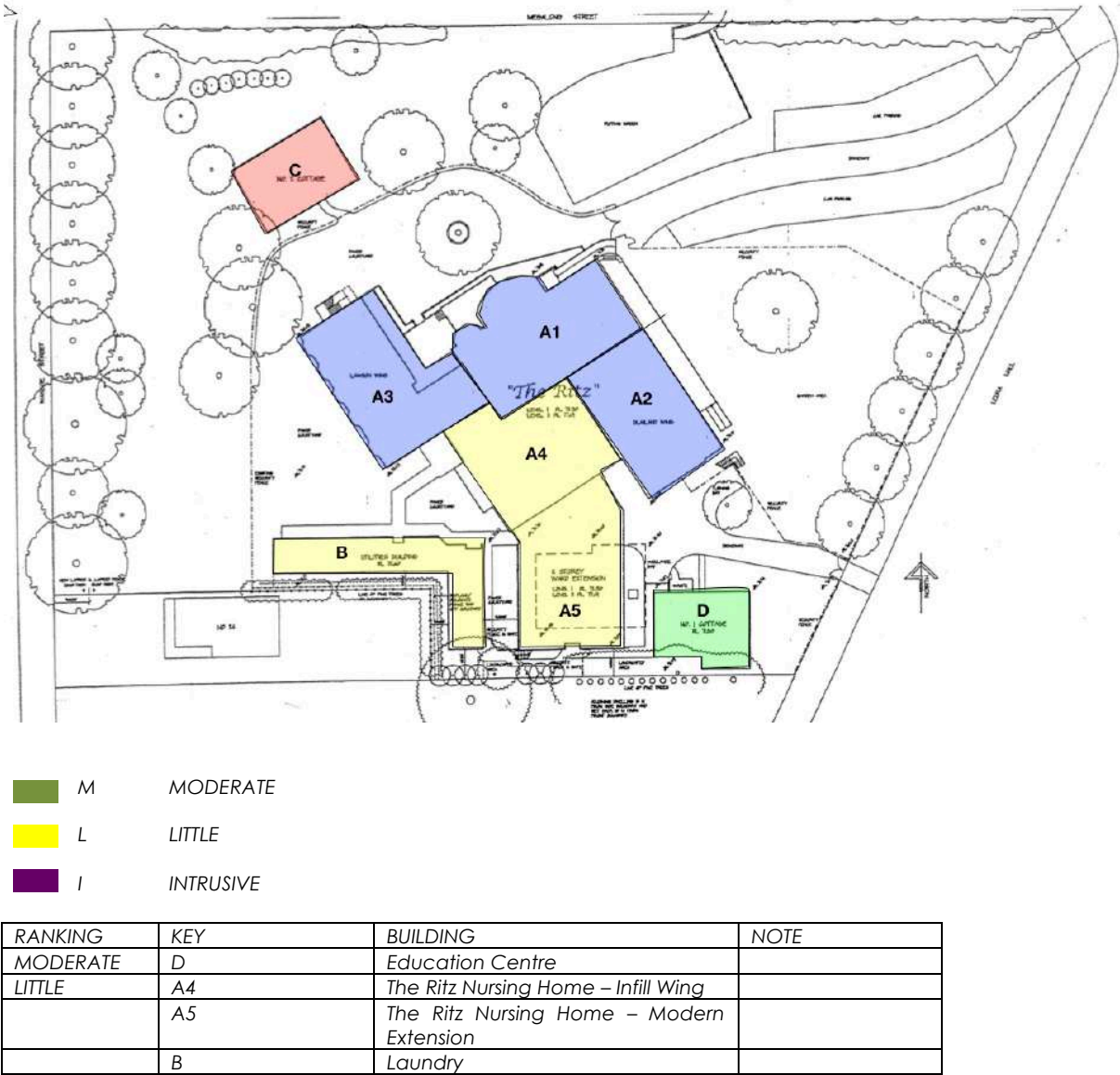


Figure 8.7.1 Buildings that can be demolished

Assessment: Largely complies.

The Education Centre will be retained and adaptively reused with limited change.



## 10.8 NEW ADDITIONS

Policy A26 Allow the following:

- Construction of new buildings in the areas identified in Figure 8.8.1
- Lower links to the heritage buildings

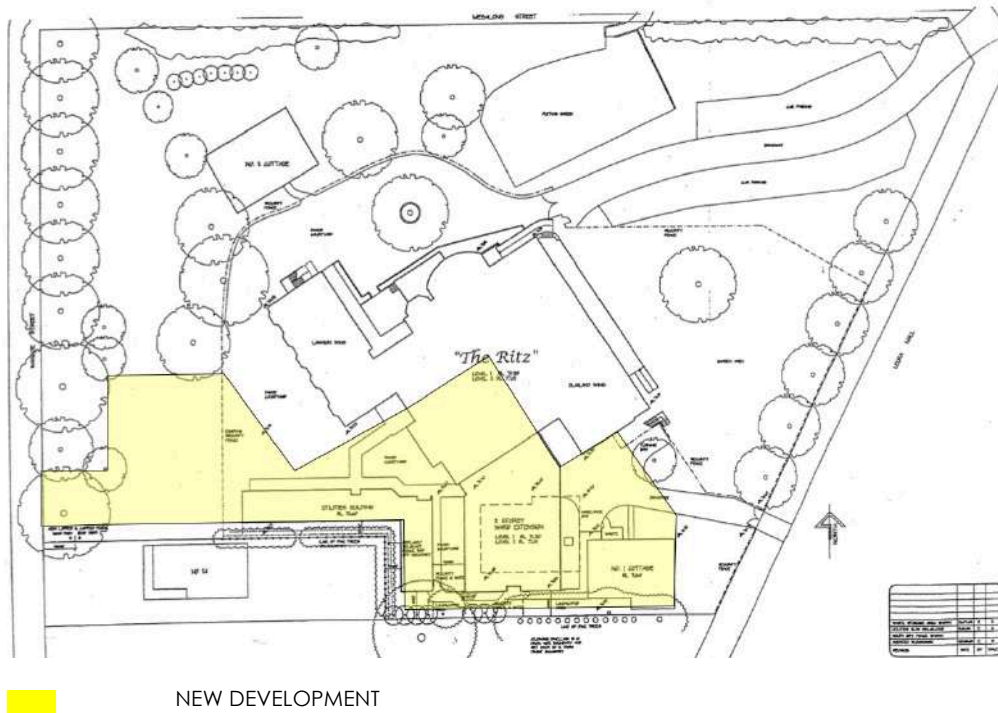


Figure 8.8.1 Areas for new development

Assessment: Large complies. See Section 9.5.1. Building outside of the guideline area is balanced by reductions in footprint to the south.

## 10.9 SETTING LANDSCAPE AND VIEWS

*Policy A27      Preserve the following landscape elements as noted in Figures 6.10*

- *Areas noted as of HIGH significance*

**Assessment: Complies**

*Policy A28      Restoration of garden elements – allow the following*

- *Reinstatement of the original drive*
- *Reinstatement of the original turning circle and planter/fountain to the front of the Ritz*

**Assessment: Partly complies.**

*Policy A29      Preserve the following Views:*

- *Views noted as significant in Figures 6.10*

**Assessment: Complies**

*Policy A30      Plantings - allow the following:*

- *Removal of non significant landscape elements introduced after 1970*
- *Removal of noxious weeds*
- *Pruning to shrub plantings and trees*
- *Removal of significant landscape elements where they are no longer capable of interpretation*
- *Removal of over mature trees and trees nearing the end of their use full life*
- *Replacement trees to match those removed if the trees are significant*
- *New discreet planting related to landscaping for new development*

**Assessment: Complies**

*Policy A31      Fencing - allow the following:*

- *Fencing to provide security and safety close to the building*

**Assessment: Complies**

*Policy A32      Pathways and Roads - allow the following:*

- *Removal of non significant pathways and parking areas*
- *Reinstatement of the early or later drive*
- *New, discrete pathways to suit*

**Assessment: Complies**

Policy A33 Garden, Path and Sports Lighting - allow the following:

- Discrete lighting to the areas of HIGH and MODERATE significance
- New pathway lighting to suit
- New lighting to the exterior to the heritage buildings to highlight them at night

Assessment: Capable of compliance.

#### 10.10 BUILDING SIGNAGE AND LIGHTING

Policy A34 Allow signage and locate signage to the following:

- Early sections of Ritz
- Discrete directional and name signage to garden areas and retained heritage buildings
- A main entry sign to an appropriate detail

Assessment: Capable of compliance.

Policy A35 Locate discrete external lighting to the heritage components as follows:

- Front facades and verandahs
- Gardens

Assessment: Capable of compliance.

#### 10.11 GUIDELINES FOR INTERPRETATION

##### 10.11.1 Generally

Interpret the place to the public and to specialists by a combination of restoration and reconstruction works to significant fabric and introduced devices (plaques etc.).

##### 10.11.2 Interpretation

Policy A36 Interpret the Hotel as a place of High Significance Locally as:

*....of cultural significance as the earliest and grandest Hotel in Leura and was built in 1892 for The Leura Hotel and Coffee Palace Limited and called the Coffee Palace (later The Palace and The Ritz) and firmly established the fledgling township as a tourist and holiday destination. The Hotel served as such for nearly eighty years.*

*....as a convalescent home run by the Australian Red Cross During the Second World War Hotel (having been requisitioned by the Government in 1942) providing services for injured and wounded service personnel*

*....as an aged care facility from 1970 till its closure in 2008*

*....as being strongly associated with The Leura Hotel and Coffee Palace Limited and its chairman William Eyre; Architect Ernest William Bonney who designed the original Hotel and Builder Henry James Weine who constructed the Hotel.*

....as also being associated with a number of later owners and managers including: Mrs Ellen Sarah Bloome and her husband James Bloome who were active in the hotel trade in Leura and who considerably expanded the hotel; Henry Elmer Messenger who undertook improvements and renovations in the Inter War years; Alfred James Craig and his mother Elizabeth Craig and his aunt Mrs Mary Shiels and Arthur McNiven and his family who ran the hotel for nearly forty years till its closure in 1970.

....as having later associations with Milstern Pty Limited (later Milstern Health Care Pty Limited) that converted the hotel to an aged care facility

....as an unusual and distinctive example of a Gothic Revival style hotel with later alterations in the same vein that largely retains its form and parts of its distinctive detailing from each period. In its heyday the Hotel would have been a distinctive, local landmark and the site remains so.

....as having extensive gardens that date from the early period of development that provide a grand setting to the Hotel and signal its early use and that retain many early planting including extensive plantings of Monterey Pines

....as having some associations with the thousands of guests that have passed through its rooms and the numerous staff who have worked at the hotel

....as having associations for the numerous residents and staff at the aged care facility

...as having important associations with the local community by providing for a focal point for local activities and being of considerable heritage interest since its construction.

**Assessment:** Capable of compliance. An Interpretation Plan should be developed for the place include guidelines on potential naming.

**Policy A37** Any naming of the place should reflect its early origins and the names the Palace Hotel and the Ritz

**Assessment:** Capable of compliance.

### 10.11.3 Interpretation of Adaptations

**Policy A38** Identify, by method and style of construction, all adaptations introduced pursuant of these guidelines

**Policy A39** Prior to any major development at the place develop a written interpretation strategy that will allow the interpretation of the place based on recorded information, extant fabric and photographic evidence

**Assessment:** Capable of compliance.

## 10.12 CONSERVATION PROCEDURES

### 10.12.1 Guidelines

*The proposed guideline for the Conservation Procedures at the Place is to treat the place as of high cultural significance, and consequently guide activities at the place by the provisions of the Australia ICOMOS Burra Charter*

### 10.12.2 Professional Conservation Team

*Engage personnel skilled in the disciplines of conservation practice at a professional level as appropriate to advise on, and implement, the conservation aspects of the place.*

### 10.12.3 Skilled Trade Team

*Engage skilled trade building and engineering trades as appropriate to advise on the conservation of the place and to carry out all works at the place.*

### 10.12.4 Reference Documentation

*Assemble, catalogue and make readily available, copies of all known historical drawings, pictorial documents and major written primary and secondary records relating to the place in a permanent archive.*

### 10.12.5 Archaeological Finds

*Record all archaeological finds. Document and safely house all finds that have been, or are in future, removed from the place. Store in one location, apart from items that might be distributed elsewhere for particular research or interpretative reasons.*

### 10.12.6 Photographic Survey

*Carry out, catalogue and archive a systematic photographic survey of the place before any works in accordance with the Heritage Office guidelines for photographic archival recording (digital format) and lodge the survey with a suitable archive (e.g. Blue Mountains City Library)*

### 10.12.7 Conservation Practice

*Carry out works to the place in the following manner:*

#### a) Condition Survey

*Before commencement of work to an element of the place, a full photographic and measured survey should be carried out to record:*

- the extent and nature of the significant fabric*
- if possible, the age of each part of the fabric*

#### b) Documentation of Works

*Proposed works to an element should be documented for implementation, in a way that allows scrutiny by others before the work is executed and also in posterity. The documentary or physical evidence upon which the works are based should be clearly known and cited. A copy of the documentation, including plans and schedules, should be held at the archive for the place.*

c) *Preservation of Fabric and Patina*

*The documentation should be drawn up to retain the maximum amount of significant fabric and patina consistent with the preservation and significance of the element. Replacement fabric should be considered of far less heritage value than the original fabric.*

f) *Information Revealed during Works*

*New information revealed about materials, configuration, use, age, evolution etc., that comes to light during the works should be recorded and added to the archival record.*

g) *Identification of Personnel*

*Personnel involved in the documentation and implementation of the works at the place should be recorded for future reference.*

#### *10.12.8 Compliance with Conservation Guidelines*

*Act only in accordance with the adopted guidelines. Proposals that are not in accordance with the Conservation Guidelines are only to be implemented following a revision of the whole of the guidelines that results in the conclusion that the proposals are consistent with the revised guidelines. Alterations to the guidelines should not be carried out in an ad hoc manner.*

#### *10.12.9 Review of Conservation Guidelines*

*Review the Conservation Guidelines after the first major works at the place, or otherwise at regular intervals, say seven years after their adoption.*

#### *10.12.10 Distribution of Conservation Guidelines*

*Allow this heritage study to be freely available by providing copies to public libraries. Supply a copy of any future conservation studies and guidelines to an appropriate archive (e.g. Blue Mountains City Library).*

**Assessment: Capable of compliance.**

#### *10.13 SUMMARY*

Overall we consider that the proposals appropriately respond to the conservation policies in the CMP and will conserve and enhance established significance of the place.



## 11.0 ASSESSMENT AGAINST THE RELEVANT PLANNING CONTROLS

### 11.1 BLUE MOUNTAINS LOCAL ENVIRONMENTAL PLAN 2015 (BMLEP)

The heritage objectives of the BMLEP are set out in Clause (1) in Section 5.10:

(1) **Objectives** The objectives of this clause are as follows—

- (a) to conserve the environmental heritage of the Blue Mountains,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

The requirements for development BLMLEP are set out in Clause 5.10 (2):

(2) **Requirement for consent** Development consent is required for any of the following—

(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)—

- (i) a heritage item,
- (ii) an Aboriginal object,
- (iii) a building, work, relic or tree within a heritage conservation area,

(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,

(c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,

(d) disturbing or excavating an Aboriginal place of heritage significance,

(e) erecting a building on land—

- (i) on which a heritage item is located or that is within a heritage conservation area, or
- (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,

(f) subdividing land—

- (i) on which a heritage item is located or that is within a heritage conservation area, or
- (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.

Before granting consent, under Clause 5.10 (5) the authority may require:

**(5) Heritage assessment**

*The consent authority may, before granting consent to any development—*

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*

*require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned*

Depending on the significance of the item under Clause 5.10 (6) the authority may require:

**(6) Heritage conservation management plans**

*The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.*

A Conservation Management Plan has been prepared for the place.

**11.1.1 Impact on the Heritage Item**

The Ritz is listed as a heritage item in the BMLEP. The listing sheet for the place (SHI 1170453) includes an assessment and statement of significance:

*Criterion (a): Cultural and Natural History*

*The earliest, grandest and longest lived of all Leura tourist establishments, the Ritz has state significance as a major hotel for three quarters of a century, a landmark from the western railway third only to the Carrington and the Hydro Majestic, attracting tourists from many places, and an important catalyst in the commercial and tourist development of Leura and the adjacent scenic walks.*

*The garden and grounds of the Ritz are of historic significance on a local level for their evidence of the principal characteristics of a garden associated with a large Blue Mountains hotel.*

*Criterion (c): Aesthetic*

*The Ritz has a unique character among the former Blue Mountains guesthouses created by the use of gothic elements of steeply pitched roofs, chimneys, gables and dormers. While most of its interiors were apparently lost in its conversion to a nursing home, it retains much of its fine exterior detailing, particularly the variety of joinery and the generous verandahs. The fine gardens enhance the building providing interesting views to and from the home.*

*The chimney of the boilerhouse has importance through its great height and fine quality brickwork, reminiscent of the better known landmark at the Carrington Hotel in Katoomba.*

*The Education Centre is also an important element in the group as a fine and interesting example of an inter-war California bungalow residence.*

The garden and grounds of the Ritz are of aesthetic significance on a local level for their evidence of the principal characteristics of a garden associated with a large Blue Mountains hotel or guesthouse, viz. formal entrance drive, treed grounds, croquet lawn and tennis court. The early plantings including the landmark Monterey pines (*Pinus radiata*) and the boundary plantings are also aesthetically significant.

We would largely concur with this assessment but do not consider the chimney or the education centre to be of high significance or to contribute greatly to the overall significance of the place.

The listing sheet also include management guidelines that are addressed below:

	Management Guideline	Comment
	Conserve the external form of the Ritz, its garden setting and the outbuildings.	Complies
	Conserve and enhance the gardens through adequate maintenance, the removal of inappropriately sited eucalypts and the removal of ivy from the large eucalypt and garden bed area adjacent to the education building.	Complies

Bases on the assessment of the impact of the proposals in Section 9.0 above, we consider that the proposals draw a good balance of retention over development, provide for an appropriate treatment of heritage buildings and maintain the garden setting of the place and its important plantings and former leisure spaces.

### 11.1.2 Impact on the Heritage items in the Vicinity

The subject area is in the vicinity of a number of heritage items that are all identified as being of local significance. The items have no historical associations with the subject site apart from the most general terms and the curtilage of the items is their own lot boundaries.

#### 11.1.2.1 LA079 St David's Presbyterian Church

To the northeast of the site is the St David's Presbyterian Church, a single storey, post war church in face brick with a tiled roof set in landscaped grounds. The Church, completed in 1960, replaced an earlier building that was destroyed in the bush fire of 1957.

The listing sheet for the Church (SHI 1170463) contains a statement of significance:

*Criterion (a): Cultural and Natural History*

*The strength of non-conformity in Katoomba-Leura was very striking in the late nineteenth and twentieth centuries and the successive Presbyterian church buildings in Leura are eloquent testimony to this. The present St David's in particular is significant as part of the determined rebuilding of the community after the devastating bushfires of 1957.*

*Criterion (c): Aesthetic*

*St David's Presbyterian Church is a good example of a post war ecclesiastical building. With the other churches close to the town centre it makes an important contribution to the character of the village core.*

The church is some way from the heritage buildings on the subject site and these are to be retained. The new development is to the south and west and is set to the height of the eaves of the retained heritage buildings. The new development is set away from the Church and the setting to the Church from Leura Mall with the drive and trees to the subject site will be retained.

We consider that the proposal will have no impact on the setting or significance of the item.

#### 11.1.2.2 LA013 – Café Bon Ton

Also to the northeast of the subject site is the Cafe Bon Ton, a two storey, retail building dated 1917 in the Federation Free Classical style.

The listing sheet for the item (SHI 1170445) contains a statement of significance:

*Criterion (a): Cultural and Natural History*

*Chief Justices of New South Wales sought country retreats, Darley at Katoomba, Martin and Stephen at Numantia, Cullen at Leura. The land on which the Cafe Bon Ton is now sited, the northern part of the Cullens' Clifflands estate, has therefore some significance in itself. As the Leura shop of the major rival to George James in the Katoomba meat business, the 1917 development has significance in local commerce.*

*Criterion (b): Persons*

*Chief Justices of New South Wales sought country retreats, Darley at Katoomba, Martin and Stephen at Numantia, Cullen at Leura. The land on which the Cafe Bon Ton is now sited, the northern part of the Cullens' Clifflands estate, has therefore some significance in itself*

The significance associations are not apparent in the current building.

The building opposite the subject site and faces the heritage buildings and gardens on the subject site. These are to be retained along with the extensive tree plantings along the Leura Mall frontage. The new development is to the south and west and is set to the height of the eaves of the retained heritage buildings. The southern wing to the extensions will be slightly visible from the item but has a narrow frontage to the street and is set well away.

We consider that the proposals are not at a scale that would impact on the setting or significance of the item.

#### 11.1.2.3 LA008 - Culgoa

To the east of the subject site is Culgoa, a single storey residence dated 1896 in the Federation Arts and Crafts style.

The listing sheet for the item (SHI 1170451) contains a statement of significance:

*Criterion (a): Natural and Cultural History*

*Culgoa/Clifflands was and is one of the earliest residences in Leura and a fine example of a country retreat. Like Darley at Lilianfels in Katoomba, Sir William Cullen, who was Darley's successor as Chief Justice of New South Wales, found a mountain summerhouse highly desirable and the quality of the house, although now somewhat compromised, reflects the importance of its early owners.*

*Criterion (b): Persons*

*The house is significant because of the distinction of the original owner, Sir William Cullen, politician, Federalist, barrister and Chief Justice of New South Wales, and his wife, Lily White.*

*Criterion (c): Aesthetic*

*Culgoa is a fine Federation residence in good condition. It features a fine verandah and joinery, with high quality leadlight in the front doorset and in the rear toplight.*

The building is opposite the subject site and faces the heritage buildings and gardens on the subject site. These are to be retained (including the Education Office opposite the item) along with the extensive tree plantings along the Leura Mall frontage. The new development is to the south and west and is set to the height of the eaves of the retained heritage buildings. The southern wing to the extensions will be visible from the item but has a narrow frontage to the street and is separated from the item by the wide road reserve and parking area along Leura Mall.

We consider that the proposals are not at a scale that would impact on the setting or significance of the item.

**11.1.2.4 LA056 - Bloome Park**

Bloome Park is a small park set well to the south of the subject site. The listing sheet for the item (SHI 1170303) contains a statement of significance:

*The park is significant for its connection to a couple who ran one of the most distinguished large guest houses in Leura. Bloome Park is a pleasant municipal park close to the centre of Leura providing amenity to the local area*

The park was named in 1930 after the Bloomes, the one-time owners and operators of The Ritz. The Park is set well away from the development site and has no visual connection to the subject site.

The Park is largely significant for its early associations and we consider that the proposals are not at a scale that would impact on the setting or significance of the item.

### 11.1.3 Blue Mountains Local Environmental Plan 2005 (BMLEP 2005)

There are five heritage items close to the subject site listed in Schedule 5 Part 1 of the BMLEP 2005.

#### 11.1.3.1 LA024 – 26 Wascoe Street Kanowna Group

To the south of the subject site is 26 Wascoe Street that is historically linked with 24 Wascoe Street, a pair of single storey, weatherboard, Federation period houses that were built as guesthouses and later used as a maternity hospital.



Figure 11.1 24 Wascoe Street



Figure 11.2 26 Wascoe Street

The listing sheet for the items (SHI 1170303) contains a statement of significance:

*Criterion (a): Cultural and Natural History*

*Kanowna is an impressive, representative guesthouse of the early twentieth century, with added significance as a maternity hospital during World War II.*

*Criterion (c): Aesthetic*

*Kanowna itself is a fine Federation building with generous proportions and largely intact details.*



*Kanowna and its adjacent cottage at 24 Wascoe Street are a good pair of Federation houses. Despite their difference in size, they have a similarity of details and form.*

*Criterion (d): Social*

*A whole generation of people now in their fifties and their parents look back on Kanowna as a birthing place and it accordingly retains social significance.*

*Criterion (g): Representativeness*

*Kanowna is an impressive, representative guesthouse of the early twentieth century.*

The items are close to the western development area that will include a two storey building with a mansard roof that is set partly into the ground giving a two storey appearance to the items that are elevated above Wascoe Street.



Figure 11.3 View to the southern elevation of the west wing with 24 Wascoe Street to the right

The setback to the southern boundary has been increased in design development to allow for landscaping and trees along the southern edge to mitigate the impact on the increased bulk and scale adjoining the items. The items have well planted gardens and the line of pine trees along the northern boundary to 24 Wascoe Street will be replaced with a line of Magnolia trees that have a mature height of 9.0 metres.

The south elevation to the addition is articulated in materials and detail with the upper floor being in a mansard form with recessive material to lessen its apparent bulk and scale. The south elevation has angled windows to avoid direct views over the items and provide articulation to the facades.

We consider that the proposals are well considered in this area and will have a limited and acceptable impact on the items.

### 11.1.3.2 LA089 - 30 Wascoa Street, Kemarle

Further south is Kemarle (formerly Isla Bank) a single storey, country retreat built c. 1911 for William Neale.

The listing sheet for the items (SHI 1170466) contains a statement of significance:

*Criterion (a): Cultural and Natural History*

*Isla Bank was a representative country retreat for a Penrith store-keeper and thereafter, renamed Kemarle, became a good representative example of cottage accommodation, owner-occupied, close to the shopping centre of Leura.*

*Criterion (c): Aesthetic*

*Kemarle has aesthetic importance as a surviving Federation period cottage, with high quality detailing such as the large french windows opening to the verandah. Much of the original fabric is intact.*

*Criterion (g): Representativeness*

*Isla Bank was a representative country retreat for a Penrith store-keeper and thereafter, renamed Kemarle, became a good representative example of cottage accommodation, owner-occupied, close to the shopping centre of Leura.*

The item is to the south of the Kanowna Group and the impact on the item will be considerably less due to its separation from the subject site by intervening development and the same mitigation measures apply.

We consider that the proposal will have a limited and acceptable impact on the item.

### 11.1.3.3 LA096 – 122-126 Megalong Street

Opposite the site across Megalong Street are three, single storey timber cottages Chadwick, Glenora and Darjeeling built by Thomas Quinn in 1911.



Figure 11.4 122 to 126 Megalong Street

The listing sheet for the items (SHI 1170471) contains a statement of significance:

*Criterion (a): Cultural or Natural History*

*These three homogeneous cottages are excellent representative examples of the entrepreneurial way in which local land investors created a closely settled core village at Leura early in the twentieth century. They are also significant examples of the way in which Sydney owners, often married or single women, invested throughout the period from 1910 to 1950, and beyond, in good leasable properties in the Upper Blue Mountains.*

*Criterion (c): Aesthetic*

*The group of cottages at 122-126 Megalong Street are an intact group of small cottages which provide a rhythm and scale to the streetscape. They contribute to the early twentieth century character of the residential precinct immediately around the Leura town centre.*

*Criterion (g): Representativeness*

*The group of cottages at 122-124 Megalong Street are good intact examples of simple cottages, often built in the Blue Mountains to provide holiday accommodation.*

The buildings are opposite the subject site and face the heritage buildings and gardens on the subject site. These are to be retained and there are extensive tree plantings along the Megalong Street frontage with subject site set well above the cottage sites that are below the footpath level. The new development is set well away from the cottages to the south and west and is set to the height of the eaves of the retained heritage buildings. The new additions will not be highly visible from the cottages.

We consider that the proposals are not at a scale that would impact on the setting or significance of the items.

#### 11.1.4 Impact on the Conservation Areas in the Vicinity

##### 11.1.4.1 Central Leura – Urban Conservation Area LA018

To the north of the subject site is the main commercial strip of Leura along Leura Mall that was developed from the 1880s onwards and contains a good collection of largely single and two storey Federation and later retail development. The Mall has a planted median and street trees and the listing sheet notes that *the mature trees of The Ritz were a landmark at the southern end of Leura Mall.*

The Ritz was developed in the same period and the Mall would have provided the public approach to the Hotel from Leura Station (that opened in 1890) as well as retail services for guests at the Hotel.

The listing sheet for the conservation area contains a statement of significance.

*Criterion (a): Cultural and Natural History*

*The commercial section of Leura Mall is of State significance because of the integrity of the assemblage of commercial and public service buildings which grew up rapidly after the railway station opened in Leura in 1890. This is also significant, like Katoomba, in having a major church building within the commercial precinct. The roadway itself is of significance because of the difficulties which it presented to the municipal authorities to maintain and beautify.*

*Criterion (c): Aesthetic*

*The central Leura Conservation Area retains a substantial number of early twentieth century buildings that combine to give the streetscape a distinctive character. A large number of early shopfronts with their recessed entries, metallic framing, marble and tiled work survive and provide important pedestrian interest. This aspect of the streetscape has been reinforced by mid twentieth century buildings with their chrome shopfronts and curved glass entries. The compactness of the commercial centre reinforces the village atmosphere of the precinct.*

*Criterion (f): Rarity*

*Leura Mall is a rare example of a high quality small commercial centre retaining very substantial integrity.*

*Criterion (g): Representativeness*

*The Central Leura Urban Conservation Area retains the typical character of an early twentieth century commercial centre in a small town.*

The proposed works will have no immediate impact on the conservation area being outside of its listed boundaries. The conservation is separated from the subject site by Megalong Street and the presentation of the Ritz, its rebuilt wings and north and east gardens and embankments will maintain the visual relationship between the subject site and the conservation area.

New development is to the south and west and is set to the height of the eaves of the retained heritage buildings. The new development is set away from the conservation area and the distinctive view along Leura Mall to the Ritz and its plantings will be retained.



Figure 11.4 View to the subject site from the end of Leura Mall

We consider that the proposal will have a very limited and acceptable impact on the setting or significance of the conservation area.

#### 11.1.4.2 Leura South Heritage Conservation Area LA106

To the south of the subject site is the Leura South Conservation area a small area of largely single storey residential development. There is no listing sheet for the conservation area on the State Heritage Inventory.

Only one house in the area abuts the subject site being 225 Leura Mall, a large, single storey, Federation house set in well-landscaped grounds. To the south of this is a single storey, Inter War house.



Figure 11.5 View to 225 and 227 Leura Mall to the south of the subject site

Both houses have well defined curtilages that were established in the early subdivision of 1883. From Leura Mall visual relationship between the properties and the subject site is dominated by the high trees along Leura Mall.



Figure 11.6 View looking north to the subject site from Leura Mall. The fence to 225 Leura Mall is to the left

Views to the immediate houses and beyond from inside of the subject site are blocked by development along the boundary. This will be replaced by the new development that has been carefully located to provide for narrow elevations to the south with a series of wings around inset courtyards.

The Education Office is to be retained providing a scalar and historic relationship with the residential area to the south.



The plan has narrow frontages to the boundary and allows for plantings along the boundary to reinforce the dense plantings to the side garden to 225 Leura Mall. Only a small portion of the new additions will be visible from the conservation area. This is two storey with a mansard roof (above the garden levels) and set to the height of the eave of the current south wing to the former hotel.

The eastern garden to the hotel will be largely retained along with the Education Office maintaining the setting of the period buildings when viewed from the south and considerably limiting any impact on the conservation area.

We consider that the proposal will have a very limited and acceptable on the setting or significance of the conservation area.

## 11.2 BLUE MOUNTAIN LOCAL ENVIRONMENTAL PLAN 2005 (BMLEP 2005)

### 11.2.1 Period Housing Area

The subject site in the vicinity of a period housing area to the south and west that includes 24 Wascoe Street and the heritage items at 26 Wascoe Street and 30 Wascoe Street (see Sections 11.1.3.1 and 11.1.3.2 above for the impact on the heritage items). The subject site is not part of the period housing area but is in the vicinity of the period housing area.

The street has a collection of single storey houses from the Federation period onwards set in well landscaped gardens that signal the early development of the township.

The BMLEP 2005 contains heritage provisions in regard to development of such areas.

	<i>Objective/Control</i>	<i>Comment</i>
61	<i>Protected Area – Period Housing Area</i>	
(1)	<i>Consent shall not be granted for development within a Protected Area—Period Housing Area unless the consent authority is satisfied, by means of a detailed assessment of character, that the development complies with the Protected Area objectives within this clause.</i>	
(2)	<i>Where Division 4 of Part 3 (Heritage conservation) applies to the land, the provisions of that Division prevail over the provisions of this Division to the extent of any inconsistency.</i>	The subject site is identified as heritage item in Schedule 6 Part 1 of the BMLEP 2005



### 11.3 BLUE MOUNTAINS DEVELOPMENT CONTROL PLANS

#### 11.3.1 Blue Mountains Development Control Plan 2015 (BMDCP)

The heritage provisions of the BMDCP are contained in Section D1 Heritage. The proposals are assessed below against the relevant objective and controls. Many of the specific controls are aimed at residential properties and are not discussed below except in general terms of the objectives.

The site is a little anomalous as it is a larger development that is very specific to its site.

	Objective/Control	Comment
D1.1	Heritage Items	
C1	Heritage items are to be retained and conserved, that is	
(a)	Significant fabric is to be retained	Largely complies
(b)	Original principal building forms (including roof pitch, eaves height and chimneys) are to be retained	Complies
C3	An adequate and respectful curtilage is to be retained around heritage items to preserve their setting	No change
C4	Any proposed work to a heritage item is to consider the relative significance of various elements in order to manage the effects of development	See CMP. The rankings of significance have been carefully considered in the development proposals
C6	A Heritage Impact Statement is required for works to a heritage item that require consent. The Heritage Impact Statement is to be in accordance with the submission requirements guidelines in Part 11.4. Submission Requirements. The scope and nature of the report will depend upon the significance of the item and the proposed degree of change to the item	This report
C8	Where relevant, all works are to be consistent with an adopted Conservation Management Plan or Strategy, or the recommended management from a heritage inventory sheet where applicable	Largely complies
D1.2		
O1	To preserve known and potential archaeological heritage	The place may have archaeological remains and this is discussed in Section 9.2.2 above
D1.3	Indigenous Heritage	
D1.3.1	Declared Aboriginal Places in the Blue Mountains	
O1	To preserve and protect places of Aboriginal cultural and archaeological significance.	The place has no known Aboriginal remains or associations

	Objective/Control	Comment
D1.5	Development in the vicinity of heritage items or conservation areas	
C1	All development in the vicinity of a heritage item or heritage conservation area is required to consider, and where necessary, mitigate the effects of that development upon the heritage values of properties in the vicinity	See Section 11.1.2
	Significant development in the vicinity of a heritage item, heritage conservation area, archaeological site or Aboriginal site will require the submission of a Heritage Impact Statement which addresses potential impacts and mitigation of impacts. The Heritage Impact Statement is to be in accordance with the submission requirements guidelines in Part I Schedules	This report
D1.7	Demolition of heritage properties	
C1	Heritage items and contributory items in heritage conservation areas are not to be demolished, and Council generally does not support demolition of such heritage properties, unless it can be satisfactorily demonstrated that the item contains structural or other irreparable damage	The extent of demolition is discussed in Section 9.2.3 above
C3	A Heritage Impact Statement is required to be submitted for the demolition of any building that is a heritage item or within a heritage conservation area. The Heritage Impact Statement is required to be in accordance with the submission requirement guidelines in Part I of this DCP	This report
C5	Where the demolition of a heritage item building or a contributory building is approved, it will generally be conditional upon the submission of a photographic archival recording using either film or digital capture to provide a stable and long term record. The archival record is required to be in accordance with the submission requirements set out in Part I.4 Submission Requirements	The current building and site area can be photographically archivally recorded prior to the works commencing
D1.9	Development Controls for heritage properties	
D1.9.1	Land Use	
C1	Original and early uses are to be continued wherever possible	The current use of the site will remain
D1.9.2	Original fabric	
O1	To conserve the significant original fabric of historic buildings and the traditional trades, crafts and construction methods associated with that fabric	Largely complies
O2	To encourage the removal of inappropriate or uncharacteristic structures or elements	Complies
D1.9.3	Alterations and additions	
O1	To retain the original built form characteristics of significant items as the predominant elements when viewed from all angles	The significant views to the heritage components are retained

	Objective/Control	Comment
O2	To ensure alterations and additions to a significant item are designed:	
(a)	to respect the heritage significance of streetscapes and group views, and	Complies
(c)	to be consistent with the original architectural style, form, massing, materials and finishes of the item, and	Complies
(e)	not to have an adverse impact on the curtilage and setting of the item	The impact is limited and well controlled
O3	To ensure that the various heights and setbacks of significant buildings within the streetscape are retained, in order to retain streetscape and setting values	Complies
D1.9.4	Curtilages, settings, gardens and landscape settings	
O1	To protect the setting of heritage items and significant places and properties within heritage conservation areas	The setting of the item, items in the vicinity and the adjoining conservation area will be conserved
O2	To ensure that elements, including spatial elements that contribute to the setting of the significant item or streetscapes within the heritage conservation area are retained	Complies
O3	To retain original plantings and landscape elements that are of heritage significance and contribute to the setting of items and conservation areas	Complies
D1.9.5	Views	
O1	To conserve significant views and vistas, including immediate street views, district views and distant views to, from and within significant items and streetscapes	Complies

We consider that the proposal meets the relevant heritage objectives and controls in the BMDCP.

## 12.0 SUMMARY AND RECOMMENDATIONS

### 12.1.1 Summary

The former Ritz is a place of considerable cultural significance that should be conserved. It contains built and landscapes elements of high significance that should also be conserved.

It is clear that there is potential for additional development at the site that can occur without impacting on the significance of the place. There are also elements of lesser significance, or that are intrusive, that can be removed, or replaced to ensure a successful adaptive reuse of the place.

We consider that the proposed development is a very well-considered and are a high-quality response to the site and its heritage components.

The proposal:

- Maintains the major heritage buildings on the site and proposes an appropriate adaptive reuse
- Maintains the major landscape components with well controlled change
- Limits the scale of buildings to maintain the visual setting and views to the retained heritage buildings
- Places development to the rear and west of the site to maintain the most significance garden setting of the former Hotel and maintain views to the period buildings
- Allows good separation between the new elements and the period buildings
- Limits the impact of the development on the heritage items in the vicinity with appropriate mitigation measures
- Limits the impact of the development on the heritage conservation areas in the vicinity

In heritage terms we would strongly support the proposal and consider that, in heritage terms, the proposal should be approved.

## 12.2 RECOMMENDATIONS

We would recommend the following:

### 12.2.1 Archaeology

The development should be the subject of an archaeological watching brief and any finds assessed by a suitable qualified archaeologist. If finds are significant then the notification and approvals process outlined in the CMP should be implemented.

### 12.2.2 Archival Recording

The site and heritage elements be the subject of photographic archival recording in accordance with the Heritage Division *Guidelines for the Recording of Heritage Sites, Buildings and Structures* for digital capture.

### 12.2.3 Interpretation Plan

An interpretation plan be developed for the place using historical information and photographs for use in introduces devices (plaques and signage) to demonstrate the historical development of the place.

#### 12.2.4 Heritage Consultant

Design development involve the services of a suitably qualified heritage consultant to ensure that the detail design of the proposal pays due regard to the heritage significance of the place and its elements and limits the impact of detailed design on the fabric and setting of the place,

A handwritten signature in black ink, reading "J. Oultram." with a stylized, cursive script.

JOHN OULTRAM